

THIS SUBDIVISION AGREEMENT made this \_\_\_\_\_ day of August 2023.

B E T W E E N:

**SIFTON PROPERTIES LIMITED**, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex (hereinafter referred to as the “**Subdivider**”)

OF THE FIRST PART

- and -

**MUNICIPALITY OF MIDDLESEX CENTRE**  
(hereinafter referred to as the “**Municipality**”)

OF THE SECOND PART

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(Not part of the Agreement)

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THIS SUBDIVISION AGREEMENT made this \_\_\_\_\_ day of August 2023.

B E T W E E N:

**SIFTON PROPERTIES LIMITED** a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex (hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

**MUNICIPALITY OF MIDDLESEX CENTRE**  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

WHEREAS:

- (a) The Subdivider is the owner of the land described in Schedule "A", (hereinafter referred to as the "**Phase V Land**");
- (b) The Subdivider wishes to subdivide the Phase V Land by means of a registered plan of Subdivision and has made an application to The Corporation of the County of Middlesex (hereinafter referred to as the "**County**") therefor and has obtained draft plan approval for a plan of Subdivision from the County under the County's File No. 39T-MC1901;
- (c) Pursuant to the County draft plan approval under County File No. 39T-MC0401, the Subdivider and the Municipality entered into a Subdivision agreement (hereinafter referred to as the "**Phase I Subdivision Agreement**") with the Municipality which is dated May 22, 2013, and made with respect to lands which have since been included in registered plan 33M-666 (hereinafter referred to as the "**Phase I Land**"); Notice of the Phase I Subdivision Agreement was registered on title to the Phase I Land in the Land Titles Office for Middlesex (No. 33) (hereinafter referred to as the "**Land Office**") on November 30, 2014, as Instrument No. ER905070;
- (d) Pursuant to the County draft plan approval under County File No. 39T-MC0401, the Subdivider and Municipality entered into a Subdivision agreement which is dated July 20, 2016 (hereinafter referred to as the "**Phase II Subdivision Agreement**") and which is made with respect to lands which have since been included in registered plan 33M-705 (hereinafter referred to as the "**Phase II Land**"); Notice of the Phase II Subdivision Agreement was registered on title to the Phase II Land in the Land Titles Office on July 26, 2016, as Instrument No. ER1053861;

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- (e) The Subdivider and the Municipality entered into an amending agreement with respect to the Phase II Subdivision Agreement which amending agreement is dated November 2, 2016, notice of which was registered on title to the Phase II Land in the Land Titles Office on July 26, 2016, as Instrument No. ER1053861;
- (f) Pursuant to the County draft plan approval under County File No. 39T-MC0401, the Subdivider and Municipality entered into a Subdivision agreement which is dated August 23, 2017 (hereinafter referred to as the “**Phase III Subdivision Agreement**”) and which is made with respect to lands which have since been included in registered plan 33M-728 (hereinafter referred to as the “**Phase III Land**”); Notice of the Phase III Subdivision Agreement was registered on title to the Phase III Land in the Land Titles Office on November 12, 2017, as Instrument No. ER1127852;
- (g) The Subdivider and the Municipality entered into an amending agreement with respect to the Phase III Subdivision Agreement which amending agreement is dated November 1, 2017, notice of which was registered on title to the Phase III Land in the Land Titles Office on November 22, 2017, as Instrument No. ER1142449;
- (h) Pursuant to the County draft plan approval under County File No. 39T-MC0401, the Subdivider and Municipality entered into a Subdivision agreement which is dated April 10, 2019 (hereinafter referred to as the “**Phase IV Subdivision Agreement**”) and which is made with respect to lands which have since been included in registered plan 33M-763 (hereinafter referred to as the “**Phase IV Land**”); Notice of the Phase IV Subdivision Agreement was registered on title to the Phase IV Land in the Land Titles Office on April 24, 2019, as Instrument No. ER1230167;
- (i) The Subdivider now wishes to subdivide the Phase V Land in accordance with draft plan approval under County File No. 39T-MC1901 into 54 single detached residential lots, two blocks for medium density dwellings (Block 55 and 56), two blocks for an ecological buffer zone which shall also be included by the Subdivider in a subsequent plan of condominium (Blocks 59 and 60), one block for open space which shall also be included by the Subdivider in a subsequent plan of condominium (Block 61), two natural heritage open space blocks which shall also be included by the Subdivider in a subsequent plan of condominium (Blocks 62 and 63), one block as walkway (Block 57), one block as parkland (Block 58), and access reserves and public roads by means of a registered plan of Subdivision (hereinafter referred to as the “**Phase V Plan**”) in the form of the photographic reduction thereof attached as Schedule “B” hereto; and the Municipality, as a condition of its recommendation to the County that final approval be given to the Phase V Plan, has required that this Agreement be entered into;

- (j) The Subdivider acknowledges and agrees that Blocks 59, 60, 61, 62 and 63 shall be a common element of the condominium stage of development of Block 56;
- (k) The Municipality and the Subdivider are prepared to enter into this Agreement with respect to the development of the Phase V Land on the basis of the terms and conditions of this Agreement;

**NOW THEREFORE THIS AGREEMENT WITNESSETH** that, in consideration of the recommendation by the Municipality to the County that final approval be given to the Phase V Plan and other good and valuable consideration, the receipt and sufficiency of which consideration is acknowledged, the Subdivider hereby covenants and agrees with the Municipality as follows:

#### **DEFINITIONS**

1. For the purposes of this Agreement the capitalized terms not otherwise defined herein shall have the meanings ascribed below:
  - 1.1 **“Conservation Authority”** shall mean the Upper Thames River Conservation Authority and/or the St. Clair Region Conservation Authority as may be applicable in the circumstances;
  - 1.2 The **“Municipal Engineer”** shall mean the Municipality’s Director of Public Works and Engineering and shall include his in house or consulting engineer designate;
  - 1.3 A **“Phase”** shall mean a separate registered plan of Subdivision approved by the County for the draft plan of Subdivision approval given under the County’s File No. 39T-MC0401;
  - 1.4 The **“Phase V Plan”** shall mean the plan of Subdivision prepared by AGM Plan – Survey – Engineer, a photographic reduction of which is attached as Schedule “B” to this Agreement;
  - 1.5 The **“Phase V Works”** shall mean the servicing work required of the Subdivider by this Agreement referred to in paragraph 11 and more particularly described in Schedule “F” to this Agreement;
  - 1.6 The **“Servicing Plans”** shall mean the plans, drawings and notes identified in section 1 of Schedule “F” to this Agreement;
  - 1.7 The **“Subdivider’s Engineers”** shall mean the person or persons who are licensed to engage in the practise of professional engineering pursuant to the *Professional Engineers Act* (Ontario) and who has been appointed by the Subdivider for the purposes of this Agreement as required by paragraph 11 of this Agreement;

- 1.8 A "**Stage**" of a Phase means a portion of the servicing works for the Phase as authorized by the Municipal Engineer; for example, for the Phase V Plan under section 54 of this Agreement.

#### **FUTURE DEVELOPMENT INFORMATION ON SERVICING PLANS**

2. The Parties acknowledge that if Servicing Plans show lot fabric, landscaping and servicing infrastructure details for future development (hereinafter referred to as "**Future Development**") beyond the Phase V Land, then:
  - 2.1 The Parties acknowledge that the lot fabric, landscaping and infrastructure shown on the Servicing Plans for any Future Development represents a proposal by the Subdivider;
  - 2.2 The Parties acknowledge that no wastewater conveyance or treatment capacity exists to accommodate any such Future Development and that the Municipality has no plan or the financial resources at this time to provide any such capacity;
  - 2.3 The Parties acknowledge and agree that no part of the landscaping or servicing infrastructure for Future Development shown on the Servicing Plans is to be constructed or installed as part of the Phase V Works except for:
    - 2.3.1 Any part of the Phase V Works located on municipal road allowances owned by the Municipality or the County and assumed as part of the Municipality's road system or as part of the County road system;
  - 2.4 The Parties acknowledge that, with respect to any Future Development, the Municipality is, as a municipality, and its officers and Council are required to exercise statutory authority under the *Planning Act* and under the *Building Code Act, 1992* in connection with building permits and with respect to Official Plan amendments, re-zonings, minor variances, Planning Act consents (severances), site plan approvals, approval of Subdivisions and of condominiums and any other prerequisites to development (herein referred to as "**Development Approvals**");
  - 2.5 The Parties acknowledge and agree that no part of the landscaping or servicing infrastructure details for Future Development shown on the Servicing Plans have been reviewed by the Municipality, nor have they received any necessary Development Approvals;
  - 2.6 The Parties understand and agree that the Municipality and its officers and Council will deal with Development Approvals for Future Development in the same manner as would be the case with respect to any other land development proposal; and



- 2.7 The Parties understand and agree that the execution of this Agreement by the Municipality is not a pre-judgment, nor does it fetter the discretion of the Municipality or its Council or its officers in the exercise of statutory authority under the *Planning Act* or under the *Building Code Act, 1992* nor does it imply or include a commitment by the Municipality to provide wastewater conveyance or treatment capacity for any Future Development.

### **SUBDIVIDER'S TITLE**

3. The Subdivider represents and warrants to the Municipality that, at the date of this Agreement and at the date of the registration of this Agreement upon title to the Phase V Land, the Subdivider will be the owner in fee simple of the Phase V Land free of all liens and encumbrances, save and except for those items described on Schedule "C" attached hereto.

### **REGISTRATION OF AGREEMENT**

4. The Subdivider consents to and will register this Agreement against the title to the Phase V Land in the appropriate Land Titles Office immediately prior to the registration of the Phase V Plan to the intent and purpose that this Agreement and all of the Subdivider's covenants herein shall run with the Phase V Land.

### **OTHERS WITH TITLE INTERESTS**

5. The Subdivider represents and warrants to the Municipality that, at the date of this Agreement and at the time of the registration of this Agreement upon the title to the Phase V Land, all persons having any interest in the Phase V Land as owner, mortgagee, tenant, easement holder or other encumbrancer are as described in Schedule "C" attached to this Agreement. Schedule "C" attached to this Agreement is divided into two Parts. Part 1 of Schedule "C" shall list those existing registered interests in the Phase V Land for which the Municipality shall not require postponements in interest to this Agreement, such as existing municipal agreements. Part 2 of Schedule "C" shall list those existing registered interests in the Phase V Land which shall be removed from title to the Phase V Land or for which the Municipality shall require postponements in interest to this Agreement be registered.

### **POSTPONEMENT BY ENCUMBRANCERS**

6. The Subdivider represents and warrants to the Municipality that at the date of this Agreement and at the time of the registration of this Agreement upon the title to the Phase V Land, that all persons having any interest in the Phase V Land as owner, mortgagee, tenant, easement holder or other encumbrancer described in Part 2 of Schedule "C" attached to this Agreement have executed authorizations postponing their respective interests in the Phase V Land and that the Subdivider's Solicitor is authorized to register such Notice(s) of Postponement on title to the Phase V Land immediately following registration of this Agreement on title to the Phase V Land.

### **REGISTRATION OF PLAN**

7. As soon as practicable after the Municipality's recommendation of the approval of the Phase V Plan, but not later than thirty (30) days after the final approval of the Phase V Plan by the County, the Subdivider shall cause the Phase V Plan to be registered in the Land Titles Office for the Land Titles Division of Middlesex (No. 33).

### **CONVEYANCES**

8. The conveyance of real property to the Municipality shall be made:
  - 8.1 to the Municipality as provided in section 38 (dedications), and of easements as provided in section 30 (easements) of this Agreementforthwith after registration of this Agreement, free and clear of all liens and encumbrances.

### **LEGAL OPINIONS REQUIRED**

9. Not later than forty-five (45) days after the final approval of the Phase V Plan by the County, the Subdivider shall cause to be delivered to the Municipality an opinion by a solicitor authorized to practice in Ontario, substantially in the form of Schedule "D" attached hereto that:
  - 9.1 At the date of signing of this Agreement and at the date of the registration of this Agreement upon title, the Subdivider is the owner in fee simple of the Phase V Land free of all liens and encumbrances, save and except for any interest in the Phase V Land of an owner, mortgagee, tenant, easement holder or other encumbrancer as described in Parts 1 and 2 of Schedule "C" attached to this Agreement;
  - 9.2 This Agreement has been registered against the Phase V Land in a first priority position, save and except for any interest in the Phase V Land described in Part 1 of Schedule "C" attached to this Agreement, and that Notice of Postponement of Interest for each of those interests described in Part 2 of Schedule "C" have been registered postponing such interest to provide priority in favour of the Municipality for this Agreement;
  - 9.3 The Phase V Plan is registered in the Land Titles Office for the Land Titles Division of Middlesex (No. 33);
  - 9.4 The conveyance of real property to the Municipality as provided in section 38 (dedications), and of easements as provided in section 30 has been made to the Municipality in satisfaction of the provisions of this Agreement, free and clear of all liens and encumbrances, save and except this Agreement and any easements

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in favour of the Municipality, and with such postponements of interest as are necessary to provide a free and clear interest.

The said opinion(s) shall be addressed to the Municipality in consideration of a fee of \$10.00 payable to the Solicitor rendering the same.

### **MUNICIPALITY TO DEDICATE BLOCK 64, 65 AND 66 FOR ROAD PURPOSES**

10. As soon as reasonably possible following registration in the Land Registry Office of the Phase V Plan the Subdivider shall transfer to the Municipality Blocks 64, 65 and 66 for road purposes.

### **SUBDIVIDER'S ENGINEERS**

11. The Subdivider shall engage competent Engineers registered with Professional Engineers Ontario for the works specified in Schedule "F" hereto (herein referred to as the "**Phase V Works**") to be undertaken by the Subdivider to the satisfaction of the Municipality, and in accordance with the standard at the time of the approval:
- 11.1 To design the Phase V Works in accordance with the current guidelines and standards prescribed by the Municipality;
  - 11.2 To prepare a tender for the construction of the Phase V Works;
  - 11.3 To assist the Subdivider to obtain all necessary approvals in connection therewith;
  - 11.4 To provide full-time on-site inspection of all construction of the Phase V Works;
  - 11.5 To prepare and maintain records in connection with the construction of the Phase V Works; and
  - 11.6 To prepare and furnish "Record" drawings of the Phase V Works as defined by the Professional Engineers of Ontario.

Such Engineers (hereinafter referred to as the "**Subdivider's Engineers**") shall provide to the Municipality evidence of Professional Liability Insurance in the amount of \$5,000,000.<sup>00</sup> endorsed for the Phase V Works to the satisfaction of the Municipality. Such Engineers engaged by the Subdivider shall also file with the Municipality an undertaking, in substantially the form attached to this Agreement as Schedule "I", with respect to the work being done under their full-time on-site inspection and contract administration, which undertaking shall include a requirement that such Engineers advise the Municipal Engineer forthwith if such Engineers' instructions become different than as reflected in the undertaking

### **SUBMISSION FOR APPROVAL**

12. The Subdivider shall, as soon as practicable, submit for the approval of the Municipal Engineer, detailed engineering plans for, specifications for, contracts in respect of and an estimate of the scheduling and of the cost of the Phase V Works, with the Subdivider's Engineers' professional stamp affixed thereto.

### **GRADING PLAN**

13. The Subdivider shall submit for the approval of the Municipal Engineer with the plans, specifications, contracts, scheduling and cost estimates, as aforementioned, a grading plan (hereinafter referred to as the "**Grading Plan**", a reduced copy of which is attached to this Agreement) showing the following information:
  - 13.1 The existing and final elevations of the Phase V Land, which elevations shall be determined by reference to a geodetic bench mark;
  - 13.2 The final grades of all roads on and in the vicinity of the Phase V Plan;
  - 13.3 For each of the lots as shown on the Phase V Plan, the location of the catch basins, private sub drains and other storm water management features depicted as set out in the Grading Plan attached to this Agreement; and
  - 13.4 The stormwater management plan and facilities, including all land designated for drainage works.

### **CONSTRUCTION WORK PLAN**

14. The Subdivider shall submit for the approval of the Municipal Engineer with the plans, specifications, contracts, scheduling and cost estimates, as aforementioned, a construction work plan (hereinafter referred to as the "**Construction Work Plan**") with the following:
  - 14.1 A map showing the haul road or road for construction traffic required by section 29 and the location of signage identifying the construction haul road and signage prohibiting construction traffic;
  - 14.2 A map showing the location of the Subdivision sign required by section 22;
  - 14.3 Confirmation of municipal protocols for the scheduling of inspections for the Phase V Works per the following:
    - 14.3.1 All municipal inspections are to be scheduled with a minimum 10 working days' notice in advance of the date of inspection;

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- 14.3.2 Municipal inspections relating to final acceptance and assumption of the Phase V Works as contemplated by sections 52 and 53 below will not be scheduled during the period extending from November 15<sup>th</sup> to April 15<sup>th</sup>;
- 14.4 A surface features plan certified by the Subdivider's Engineers illustrating the location of:
- Sidewalks;
  - Fire hydrants;
  - Street and traffic signage;
  - Street pavement markings;
  - Driveways at cul-de-sacs and on 90 degree road bends;
  - Street-lighting;
  - Community mail boxes;
  - Communication boxes or pedestals.
- 14.5 A public land maintenance schedule;
- 14.6 A sediment and erosion control plan;
- 14.7 A street cleaning schedule;
- 14.8 Communication protocols, including the names and telephone numbers, including after-hours telephone numbers for the persons responsible for responding to questions or complaints about the installation, construction operation and maintenance of the Phase V Works; and
- 14.9 The form of notice to be given to affected land owners and residents in the vicinity advising of the approximate date of commencement of construction and of the communication protocols referred to in section 14.8 above.

Once the Construction Work Plan has been approved by the Municipal Engineer, the Subdivider will participate in a pre-construction meeting with the Subdivider's Engineers and the Municipal Engineer. The Construction Work Plan may be adjusted from time to time by the Subdivider with the approval of the Municipal Engineer or by the Municipal Engineer in response to circumstances and conditions which may arise or be disclosed as the construction and installation of the Phase V Works progresses.

### **APPROVAL BY MUNICIPAL ENGINEER**

15. Such plans, specifications, contracts, scheduling and cost estimates and the Grading Plan and the Construction Work Plan shall be considered, amended if necessary, with the concurrence of the Subdivider and the Subdivider's Engineers, and approved as amended by the Municipal Engineer; provided however, such approval shall not relieve the Subdivider of responsibility for any errors or omissions in such plans, specifications, contracts, scheduling and cost estimates or the Grading Plan or the Construction Work Plan.

### **ADDITIONAL APPROVAL BY MECP**

16. In addition to the approval of the Municipal Engineer as required by section 15, all such plans, scheduling, specifications, including and particularly those detailing the handling of stormwater from the Phase V Land, erosion and sediment control during construction, and the Grading Plan shall be considered, amended if necessary and approved as amended by the Ministry of the Environment, Conservation and Parks (the "**MECP**").

### **ADDITIONAL APPROVAL BY CONSERVATION AUTHORITY**

17. In addition to the approval of the Municipal Engineer as required by section 15, all lot grading plans, drainage plans, storm water management plans, sediment and erosion control measures to be used during construction, as well as all Phase V Works located in regulated areas shall be considered, amended if necessary with the concurrence of the Subdivider and of the Subdivider's Engineers, and thereafter accepted by the Conservation Authority as amended.

### **STORMWATER MANAGEMENT PLAN**

18. The Subdivider shall submit a detailed stormwater management plan to be reviewed and accepted by the Conservation Authority, approved by the MECP and the Municipal Engineer. The stormwater management plan shall be designed and constructed in accordance with the current guidelines and standards prescribed by the Municipality and shall be integrated with the stormwater management plan approved under this Agreement and shall be based upon the following documents, which are referred to in the Phase I Subdivision Agreement:
- 18.1 Stormwater Management Design Brief prepared by Development Engineering (London) Limited for Sifton Properties Limited and dated June 2012;
  - 18.2 Site Servicing Brief – Timberwalk Subdivision Phase V, Ilderton (Middlesex Centre), prepared by Development Engineering (London) Limited and dated May 14, 2021;
  - 18.3 Development Assessment Report prepared by NSRI and dated November 2018; and

- 18.4 Stormwater Management O & M Manual prepared by Development Engineering (London) Limited for Sifton Properties Limited and dated June 2012.

The final stormwater management plan shall incorporate necessary measures to enhance the quality of stormwater discharges and to control erosion and sedimentation during and after construction. A site supervisor shall be designated whose primary function is to ensure that the recommendations of the stormwater management plan are implemented. A work activity log shall be maintained to record the dates and descriptions of work activities and site inspections relating to sediment and erosion control measures and such log is to be made available to the Municipality at the request of the Municipal Engineer. Inspections shall occur on a regular basis during construction and after significant storm events until rehabilitation is complete.

### **HOMEOWNER INFORMATION PACKAGE**

19. The Subdivider shall provide a homeowner information package describing the environmental services provided for stormwater quality and flood control management on the Phase V Land and indicate the responsibilities of the homeowner to assist with maintenance, and landowner responsibility for catch basins, any private perforated subdrain on lots, and underground storm water pipes on lots collecting water from catch basins and transporting to the municipal stormwater system located in the public road. The homeowner information package shall be in substantially the form attached as Schedule "I" to this Agreement and the Subdivider shall provide a copy of such information package to every person who makes an offer to purchase any lot as shown on the Phase V Plan before such person is bound by an agreement to purchase any such lot.
- 19.1 The Subdivider shall be required to install educational signage as appropriate and as accepted by the Conservation Authority and approved by the Municipality along the buffer, open space and natural features areas including but not limited to educational signs describing the Significant Woodlands, Buffers and Naturalization areas and Wetlands; and
- 19.2 The homeowner information package shall include the Environmental Stewardship Manual;

### **ENVIRONMENTAL PROTECTION MEASURES**

20. The Subdivider shall implement any environmental protection measures recommended in the stormwater management plan required as contemplated by section 18, which are not capable of being addressed under the *Ontario Water Resources Act*.

### **STORMWATER MANAGEMENT ISSUES**

21. The Subdivider shall implement the following requirements with respect to the approved stormwater management plan:

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- 21.1 Municipal assumption of ownership of any facilities required for the detention and enhancement of stormwater quality for the purpose of ensuring perpetual maintenance and operation, except where those facilities are located on private property; and
- 21.2 The inclusion of any measures necessary to implement stormwater quality controls not subject to regulation pursuant to the *Ontario Water Resources Act*.
- 21.3 The inclusion of water quantity and quality controls for the third pipe system conveying water directly to the woodland / wetland area.

**SIGN OF PLAN**

- 22. The Subdivider shall erect at the time of commencement of the construction of the Phase V Works and shall thereafter maintain until the time when seventy-five (75%) percent of the lots as shown on the Phase V Plan have had constructed thereon dwellings which are available for residential occupancy, a sign showing the Phase V Plan; and such sign shall:
  - 22.1 Be at least 1.0 metres (3 feet) by 2.0 metres (6 feet) in size,
  - 22.2 Be located at a place on the Phase V Land approved by the Municipal Engineer, and
  - 22.3 Show the various lots on the Phase V Plan and the permitted uses thereof.

**AUTHORIZATION TO PROCEED WITH CONSTRUCTION**

- 23. No site alteration, construction or installation of the Phase V Works shall commence nor shall the Subdivider cause or permit any grading of the Phase V Land until:
  - 23.1 After the written approval of the Municipal Engineer, and the approval of the MECP and of the Conservation Authority have been given with respect to all of the Phase V Works as contemplated by sections 15 to 17;
  - 23.2 A certificate of insurance as required in accordance with section 43 has been given to the Clerk;
  - 23.3 The Letter of Credit as required in accordance with section 40 of this Agreement has been furnished to the Clerk;
  - 23.4 All easements and dedications in respect of all Phase V Works as contemplated by section 38 (dedications), and section 30 (easements) have been granted to the Municipality and the solicitor's opinions required by section 9 and 32 have been delivered to the Municipality;



- 23.5 The Subdivider has paid all funds required by this Agreement to the Municipality in addition to any funds owed and outstanding to the Municipality and required by any prior Subdivision Agreements entered into by the parties and associated with any of the lands subject to draft plan approval under the County's File No. 39T-MC1901, and such amounts are related to the Municipality's costs associated with land use planning, engineering, surveying and legal fees and disbursements and for the cost of administration, supervision and all other work required by the Municipality in connection with this Agreement and/or any prior Agreements relating to the Timberwalk Lands and/or in connection with any earlier Agreements entered into by the Parties and as described in section 74 and section 76 below;
- 23.6 The Municipal Engineer, in the Municipal Engineer's sole and absolute discretion may issue an authorization to proceed with the construction and/or installation of the Phase V Works on any portion of the Phase V Lands (the "Authorization to Commence Work on a Portion of the Lands"). The Municipal Engineer may issue an Authorization to Commence Work on a Portion of the Lands for any lands confirmed to be situated outside of any area regulated by the Conservation Authority and such Authorization to Commence Work on a Portion of the Lands may be subject to any terms and conditions considered appropriate and necessary by the Municipal Engineer including but not limited to fencing and/or any other separation of lands regulated by the Conservation Authority from the remainder of the Phase V Lands;
- 23.7 Written confirmation from the Subdivider and Subdivider's Engineer that they have reviewed the Middlesex Centre Drinking Water Works Permit and Municipal Drinking Water Licence;

but once all such matters have been attended to, the Municipal Engineer shall issue an **"Authorization to Commence Work"** or an **"Authorization to Commence Work on a Portion of the Lands"** whereupon, the Subdivider shall first rough grade or cause the Phase V Land to be rough graded in accordance with the approved Grading Plan as set out in Schedule "G", with such variations as the Municipal Engineer may permit on such terms and conditions as the Municipality may see fit to impose and then cause to be constructed and installed the Phase V Works on a continuous basis and as quickly as possible and shall complete the Phase V Works to the stage of the issuance by the Municipal Engineer of the Certificate of Provisional Acceptance, as contemplated by paragraph 45, within three (3) years of receipt of such Authorization to Commence Work. The Subdivider may at any time and from time to time seek an extension or extensions of such three (3) year period in respect of all or any part or parts of the Phase V Works and the Municipal Engineer may grant any such request on such terms and conditions as the Municipal Engineer may see fit to impose. Such a request for an extension shall be accompanied by a justification prepared by the Subdivider's Engineers supporting the

request and describing not only the technical basis for the request but also the length of the extension proposed.

#### **INSPECTION AND CONTRACT ADMINISTRATION OF CONSTRUCTION**

24. The construction and installation of the Phase V Works shall be carried out under the full-time supervision of the Subdivider's Engineers, subject to the rights of the Municipality and of the Municipal Engineer under this Agreement; provided, however, that the exercise of such rights by the Municipality or by the Municipal Engineer shall not relieve the Subdivider of responsibilities for any errors or omissions or from the Subdivider's obligation to construct, install and maintain the Phase V Works in a good workmanlike and complete manner and in accordance with this Agreement.

#### **STANDARD OF WORK AND VARIATIONS**

25. The Phase V Works shall be constructed and installed strictly in accordance with the approved plans and specifications, in accordance with good engineering practice and to the entire satisfaction of the Municipal Engineer, together with such variations from the approved plans and specifications as may be required by conditions which may be disclosed as the construction and installation of the Phase V Works progresses and the Subdivider shall construct and install the Phase V Works strictly in accordance with the plans and specifications as so varied by the Municipal Engineer, and in accordance with the standard at the time of approval.

#### **GENERAL MAINTENANCE**

26. Until final acceptance and assumption of the Phase V Works by a by-law of the Municipality, as contemplated by section 53, the Subdivider shall maintain or cause to be maintained all of the Phase V Land in a neat and tidy manner and shall carry out or cause to be carried out all weed cutting and maintenance of all of the Phase V Land and shall maintain or cause to be maintained all roads and pedestrian walks within the Phase V Land free from mud, debris, building materials and all other obstructions or waste in accordance with the Municipality's current property standards by-laws and shall undertake or cause to be undertaken winter maintenance of roads within the Phase V Land to the standards required of the Municipality under the *Municipal Act, 2001*, as well as all other applicable law.

#### **HAZARDOUS MATERIAL**

27. The Subdivider represents and warrants to the Municipality that a detailed soils investigation of the Phase V Land has been undertaken by a qualified geotechnical engineer and that no hazardous material has been identified on the Phase V Land; and the Subdivider agrees that, in the event that any hazardous material is encountered as the construction and installation of the Phase V Works progresses, the Subdivider shall forthwith notify the Municipal Engineer and the MECP and shall remove any hazardous

material at a time and in a manner to the satisfaction of the Municipal Engineer and the MECP.

### **MAINTENANCE OF DRAINS**

28. During the installation and construction of the Phase V Works and until final acceptance and assumption of the Phase V Works by a by-law of the Municipality, as contemplated by section 53, the Subdivider shall maintain in working operation and repair all drains in use on the Phase V Land, whether they be open ditches or buried pipe and whether or not they are part of a municipal drain; and, after the completion of the installation and construction of the Phase V Works such drains shall be left in a good, proper and workmanlike repair, save to the extent of any relocation of such drains as part of the Phase V Works.

### **HAUL ROADS**

29. Until final acceptance and assumption of the Phase V Works by a by-law of the Municipality, as contemplated by section 53, the Subdivider shall, for the purpose of minimizing or eliminating danger of damage or inconvenience, direct all or certain construction vehicles or equipment associated with the construction of the Phase V Works or related building construction along such streets as are specified by the Municipal Engineer or, when directed by the Municipal Engineer, along such temporary construction roads as are to be constructed and maintained by the Subdivider.

29.1 Failure to post the signage required by this Agreement, identifying the construction haul road and/or any temporary construction roads including but not limited to the signage prohibiting construction traffic on the specified roads in a form and manner acceptable to the Municipality, acting reasonably, may result in the Municipality fulfilling these requirements with all costs incurred by the Municipality being charged to the Subdivider under section 74;

29.2 The Municipality may, in its sole and absolute discretion, implement measures to direct construction traffic to the appropriately designated haul roads, particularly as it relates to the use of existing road access for the purposes of construction activities, such measures if required, shall be implemented by the Municipality, acting reasonably, at the sole cost and expense of the Developer with all costs incurred by the Municipality being charged to the Subdivider under section 74.

### **EASEMENTS**

30. The Subdivider shall, at no cost to the Municipality, provide:

30.1 such easements as may be necessary in connection with the construction, installation and/or maintenance of the Phase V Works including but not limited to any easements for stormwater management;

30.2 an easement between Lots 35 and 36 for stormwater management purposes;

with such easement or easements subject to the approval of the Municipal Engineer as to location and width; and construction and installation of any Phase V Works on or in connection with such easement or easements shall not commence until the easement or easements have been acquired by the Municipality.

### **INSTALLATION OF UTILITIES**

31. The Subdivider shall arrange to have Hydro One, Union Gas, Bell Canada, Execulink, Rogers or such other telephone and telecommunication service provider as may be designated by the Municipality, the locally authorized TV cable operator and such other persons as the Municipality may designate, design and install, at no cost to the Municipality, all necessary electrical, telephone, fuel, communication and other utilities or service distribution systems, which systems are to be installed underground where possible and in such locations as the Municipal Engineer shall designate in accordance with standard servicing procedure. The Subdivider acknowledges and agrees that the Subdivider's obligations hereunder to construct, install, maintain and repair the Phase V Works includes the replacement or repair of any of the Phase V Works which are damaged or altered in connection with the installation of any such utilities or distribution systems.

### **UTILITIES EASEMENTS**

32. The Subdivider shall provide and grant by Deed or Transfer, for nominal consideration, to Hydro One, Union Gas, Bell Canada, Rogers and Execulink or such other telephone and telecommunication service provider as may be designated by the Municipality, the locally authorized TV cable operator and to such other persons mentioned above, such easements as may be reasonably necessary for such utilities or distribution systems or as may be required by the Municipal Engineer for such purposes. The conveyance of easements as required by this section 32 shall be made, free and clear of all liens and encumbrances. Before the issuance of an Interim Certificate of Provisional Acceptance in accordance with section 45, the Subdivider shall cause to be delivered to the Municipality an opinion by a solicitor authorized to practice in Ontario substantially in the form of attached as Schedule "E" hereto. The said opinion shall be addressed to the Municipality in consideration of a fee of \$10.00 payable to the Solicitor rendering the same.

### **UTILITIES CO-ORDINATION**

33. The Subdivider shall co-operate with Hydro One, Union Gas, Bell Canada, Execulink, Rogers or such other telephone and telecommunication service provider as may be designated by the Municipality, the local TV cable operator and such other utility companies as the Municipality may designate, so that the Phase V Works shall be coordinated as much as possible with the installation of any other utilities that may be installed in or on the Phase V Land. The Subdivider agrees to pay the cost of relocating and repairing any existing services where such relocation or repair is made necessary by reason of Phase V Works and, in this connection, the Subdivider shall adjust all road

grades, the grade of any affected water service boxes, valves, hydrants and valve chambers as may be required by the Municipal Engineer until the Municipality has assumed the Phase V Works by by-law, as contemplated by section 53.

#### **CANADA POST COMMUNITY MAILBOXES**

34. The Subdivider shall arrange to have Canada Post provide, at no cost to the Municipality, community mailboxes on the Phase V Land; and the Subdivider shall provide and grant by Transfer, for nominal consideration, to Canada Post such easements as may be reasonably necessary for such community mailboxes or as may be required by the Municipal Engineer for such purposes. The conveyance of easements as required by this section 34 shall be made, free and clear of all liens and encumbrances. Before the issuance of an Interim Certificate of Provisional Acceptance in accordance with section 45, the Subdivider shall cause to be delivered to the Municipality an opinion by a solicitor authorized to practice in Ontario substantially in the form of to this Agreement adapted for the purpose of this paragraph. The said opinion shall be addressed to the Municipality in consideration of a fee of \$10.00 payable to the Solicitor rendering the same.

#### **DEVELOPMENT CHARGES**

35. The Subdivider shall pay to the Municipality development charges in connection with the Subdivision of the Phase V Land in accordance with the Municipality's Development Charges By-law applicable and any other pertinent agreements to the Phase V Land and in force from time to time as and when applications for building permits are made for the buildings and structures on the lots and blocks shown on the Phase V Plan.
36. The Subdivider shall ensure that all persons who first purchase lots as shown on the Phase V Plan are informed, at the time each lot is transferred, of all the development charges related to the development.

#### **PARKLAND DEDICATION**

37. The Parties agree that the Subdivider has made a park land dedication in connection with development of the Phase I Land, the Phase II Land, the Phase III, the Phase IV Land and future development being the Phase V Land under draft plan of Subdivision approval from the County under its File No. 39T-MC0401. For the purposes of Phase V, the Parties agree that the Subdivider is to make a conveyance of Block 57 being 0.39670 hectares (0.98 acres) and Blocks 58 being 0.77663 hectares (1.92 acres) in area for the purposes of its park land dedication in connection with development of the Phase V Land (the "**Park Area**"). The Municipality agrees that this cash-in-lieu of parkland dedication took into consideration as part of the calculation the excess lands dedicated for parkland purposes as part of the development of the Phase I Land and the following provisions shall apply:

- 37.1 The Parties acknowledge that, in accordance with section 40 of the Phase I Subdivision Agreement, the Subdivider agreed to pay cash in lieu of a 5% park land

dedication by June 31, 2016 if, by then, the Subdivider had not conveyed to the Municipality 0.314 hectares (0.776 acres) for park purposes;

- 37.2 The Parties acknowledge that the Subdivider has not conveyed to the Municipality 0.314 hectares (0.776 acres) for park purposes and the Parties agreed that, instead of making a payment in lieu of a conveyance for park purposes with respect to the Phase I Land, the Subdivider would make a conveyance for park purposes at the time of Future Development, and it was agreed that section 40 of the Phase I Subdivision Agreement was hereby amended accordingly;
- 37.3 The Parties acknowledge that, since the time of the Phase I Subdivision Agreement, it has been determined and agreed by the Parties that the area of the Phase I Land is 8.58 hectares (21.20 acres), 5% of which is 0.429 hectares (1.06 acres), so that, notwithstanding anything contained in this Agreement or in the Phase I Subdivision Agreement, the Subdivider's conveyance for park purposes at the time of Future Development will be 0.429 hectares (1.06 acres) with respect to the Phase I Land.
- 37.4 The Parties acknowledge that, in connection with the Subdivision of the Phase II Land, the Subdivider has conveyed to the Municipality Block 59, as shown on the Phase II Plan, for park purposes as required by section 40.2 of the Phase II Subdivision Agreement and that the area of Block 59 is 0.275 hectares (0.667 acres);
- 37.5 The Parties acknowledge that the area of the Phase II Land is 7.664 hectares (18.940 acres), 5% of which is 0.383 hectares (0.946 acres) and that, therefore, the dedication of Block 59 was not sufficient to satisfy the 5% parkland dedication as contemplated by subsection 51.1(1) of the *Planning Act* and the Parties are agreed that, instead of making a payment in lieu of a conveyance for park purposes to make up the 0.108 hectare (0.267 acre) deficiency with respect to the Phase II Land, the Subdivider will make a conveyance for park purposes at the time of Future Development of 0.108 hectares (0.267 acres) with respect to the Phase II Land.
- 37.6 The Parties acknowledge that the area of the Phase III Land is 3.418 hectares (8.4426 acres), 5% of which is 0.171 hectares (0.946 acres) and that there is no conveyance by the Subdivider to satisfy the 5% parkland dedication as contemplated by subsection 51.1(1) of the *Planning Act*; and the Parties are agreed that, instead of making a payment in lieu of a conveyance for park purposes, the Subdivider will make a conveyance for park purposes at the time of Future Development of 0.171 hectares (0.946 acres) with respect to the Phase III Land.

- 37.7 The Parties acknowledge that the area of the Phase IV Land is 2.202 hectares (5.44 acres), 5% of which is 0.1101 hectares (0.272 acres) and that there is no conveyance by the Subdivider to satisfy the 5% parkland dedication as contemplated by subsection 51.1(1) of the *Planning Act*; and the Parties are agreed that, instead of making a payment in lieu of a conveyance for park purposes, the Subdivider will make a conveyance for park purposes at the time of Future Development of 0.1101 hectares (0.272 acres) with respect to the Phase IV Land.
- 37.8 The Parties acknowledge that the area of the Phase V Land is 16.25 hectares (40.155 acres) of which 1.1733 hectares (2.899 acres) is being conveyed to the Municipality to satisfy the 5% parkland dedication as contemplated by subsection 51.1(1) of the *Planning Act* and to rectify any deficiencies in the parkland dedication from prior phases. The parties acknowledge that the conveyance to the Municipality of Blocks 57 and 58 being a total of 1.1733 hectares (2.899 acres) for park purposes meets a portion of the parkland dedication requirement (the “**Park Area**”).
- 37.8.1 The Subdivider acknowledges and agrees that there is a 0.4607 hectares (1.14 acres) shortfall in the dedication of land for parkland purposes and shall make a cash-in-lieu parkland dedication payment in connections with the development of the Phase V Land for park purposes, the Subdivider shall pay to the Municipality the fair market value of the 0.4607 hectares (0.98553 acres) of the shortfall for park purposes. The value of the Subdivision Lands for the purposes of quantifying the parkland dedication shall be agreed upon by the Municipality, acting reasonably. The value will be determined through the preparation of an appraisal by an appraiser both the appraisal and appraiser being agreed upon by the Municipality and the Subdivider, both acting reasonably. For greater certainty, this amount shall be determined within a period of forty-five (45) days and paid within a period of sixty (60) days following the execution of this Agreement.
- 37.9 The Subdivider agrees that the Park Area shall be:
- 37.9.1 graded in accordance with the design drawings;
- 37.9.2 constructed with 300mm of topsoil including 300mm topsoil in the buffer areas; and,
- 37.9.3 seeded with the park mix as confirmed by the Municipality.

### DEDICATIONS

38. The Subdivider shall, at its expense, and immediately after the registration of the Phase V Plan, convey to the Municipality in fee simple, free and clear of all liens and encumbrances
- 38.1 Blocks 57 and 58, as shown on the Phase V Plan, for Parkland Open Space;
- 38.2 Blocks 64, 65 and 66 for the purposes of the turning circle and ultimate dedication by the Municipality as Arrowwood Path;
- 38.3 Block 67 for the purpose of a 0.3 metre reserve;

and the Subdivider hereby remises, releases and forever discharges the Municipality from any and all claims for compensation for or the return of such real property for any reason.

### MUNICIPAL DRAINAGE

39. The Subdivider shall pay to the Municipality all costs assessed by a drainage engineer appointed for the purpose under the *Drainage Act* for the following:
- 39.1 apportionment of the assessments previously assessed against the Phase V Land in accordance with Section 65 of the *Drainage Act*; and
- 39.2 improvement of any municipal drain under Section 4 or under Section 78 of the *Drainage Act* for the purposes of providing property sufficient outlet for storm water to be disposed from the Phase V Land as contemplated by the Phase V Works.

### LETTER OF CREDIT

40. Forthwith upon the Municipal Engineer's approval of the plans, scheduling, specifications, contracts, cost estimates, and the Grading Plan, and before the Municipal Engineer issues the Authorization to Commence Work contemplated in section 23 of this Agreement, the Subdivider shall lodge with the Clerk a Letter of Credit from a chartered bank in substantially the form set out in Schedule "J" hereto, or such other security satisfactory to the Municipality, guaranteeing payment of at least an amount which is equal to 100% of the estimated cost of the Phase V Works as approved, as aforesaid. Such Letter of Credit shall not at any time be less than Ten (10%) Percent of the value of the Phase V Works or TWENTY-FIVE THOUSAND, (\$25,000.00) DOLLARS, whichever is greater. All such security shall be in a form and nature that is to the satisfaction of the Municipal Solicitor; and all such security shall be for the purpose of securing performance of all of the obligations of the Subdivider under this Agreement.



### **SECURITY FOR ALL SUBDIVIDER'S OBLIGATIONS**

41. The security provided by the Subdivider as required by section 40 shall be for the purpose of securing performance of all of the obligations of the Subdivider under this Agreement including, without limiting the generality of the forgoing, payment of money payable by the Subdivider to the Municipality in accordance with section 74 and section 76 of this Agreement.

### **PARTIAL RELEASE OF SECURITY**

42. So long as the Subdivider is not in default under this Agreement, the amount of the Letter of Credit may be reduced from time to time to an amount which, in the opinion of the Municipal Engineer, is adequate to secure the faithful performance of the remaining obligations of the Subdivider hereunder; provided that no reduction in the Letter of Credit shall be made until there is first filed with the Municipal Engineer:
- 42.1 An interim completion certificate, following the form set out in Schedule "K", issued by the Subdivider's Engineers as to the part of the Phase V Works that have been installed, constructed and completed to the date of the interim certificate and as to the value of the part of the Phase V Works completed, and
- 42.2 an estimate by the Subdivider's Engineers of the cost which, in the Subdivider's Engineers' opinion, is required to complete the uncompleted part of the Phase V Works, including the Warranty Period, as well as the faithful performance of all other obligations of the Subdivider under this Agreement.

After such certificate and estimate has been reviewed by the Municipal Engineer, the Municipality may release such part of the security held under this Agreement as is no longer required retaining such security as is, in the opinion of the Municipal Engineer, needed to secure completion of the uncompleted part of the Phase V Works, including the Warranty Period, as well as the faithful performance of all other obligations of the Subdivider under this Agreement; and the Parties agree that, when deciding upon the amount of security to be retained to secure completion of the uncompleted part of the Phase V Works, including the Warranty Period, as well as the faithful performance of all other obligations of the Subdivider under this Agreement, the Municipal Engineer shall take into account his estimate of the cost of enforcing compliance with this Agreement and of realizing upon the security provided for this Agreement, including legal and engineering costs and the cost of the Municipality's procurement policies and practise and that the amount of the Letter of Credit shall not be reduced to less than TWENTY FIVE THOUSAND (\$25,000.00) DOLLARS, until the Municipality has finally accepted the Phase V Works by by-law, as contemplated by section 53, of this Agreement. Notwithstanding anything contained in this Agreement, no reduction of the Letter of Credit shall relieve the Subdivider of any of the obligations of the Subdivider hereunder.

## **INSURANCE**

43. From the time when the Municipality has approved the plans, specifications, contracts, scheduling and cost estimates and Grading Plan, until all the Phase V Works are completed and finally accepted by the Municipality by a by-law, as contemplated by section 53, including the Warranty Period, the Subdivider shall maintain in force and effect insurance which satisfies the following:
- 43.1 such insurance shall provide comprehensive general liability insurance against claims for personal injury, death or property damage or loss arising out of the construction and installation of any and all of the Phase V Works to be performed pursuant to this Agreement, including all plans, specifications and contracts therefor and any and all documentation submitted by or on behalf of the Subdivider in support of the approval of such plans, specifications and contract;
  - 43.2 such insurance shall provide primary coverage to the Municipality as an additional insured;
  - 43.3 such insurance shall have limits of liability of at least Five Million (\$5,000,000.00) Dollars per incident, or such greater amount as may be specified by the Municipality from time to time;
  - 43.4 such insurance shall include a cross-liability clause protecting the Municipality against claims by the Subdivider as if the Municipality was separately insured;
  - 43.5 such insurance shall provide coverage which shall continue until the Phase V Works are completed and finally accepted by the Municipality by a by-law, as contemplated by section 53;
  - 43.6 such insurance shall contain a clause that the insurer will not lapse, cancel or change or refuse to renew the insurance without first giving the Municipality sixty (60) days' prior written notice;
  - 43.7 such insurance will be with insurers that are, from time to time, acceptable to the Municipality; and
  - 43.8 such insurance shall otherwise be in a form satisfactory that is, from time to time, acceptable to the Municipality.

Forthwith upon the Municipality's approval of the plans, specifications, contracts, scheduling and cost estimates and Grading Plan, the Subdivider shall provide the Municipality with evidence of the insurance to be provided as required by this section 43 in the form of a certificate or certificates of insurance issued by an authorized agent of the insurer on the face of which certificate shall be the following endorsement:

The insurance evidenced by this certificate satisfies the insurance requirements of the Subdivision agreement dated the \_\_\_\_ day of August, 2023 between Municipality of Middlesex Centre and Sifton Properties Limited.

The Subdivider shall also provide, from time to time at the request of the Municipality, evidence that such insurance continues in force and effect in the form of updated certificates of insurance. Also, at the request of the Municipality, the Subdivider shall deliver to the Municipality copies of the insurance policy or policies for the insurance coverage required by this section 43.

#### **INDEMNITY**

44. Until the Municipality shall have finally accepted the Phase V Works by a by-law, as contemplated by section 53, the Subdivider shall indemnify the Municipality and its agents, employees, contractors and subcontractors from and against all expenses, actions, causes of actions, suits, claims, demands or administrative orders whatsoever which may arise, either directly or indirectly, by reason of the construction and installation of any and all of the Phase V Works to be performed pursuant to this Agreement, including all plans, specifications and contracts therefor and any and all documentation submitted by or on behalf of the Subdivider in support of the approval of such plans, specifications and contracts; and the insurance coverage policy required by section 43 shall not be construed as relieving the Subdivider from responsibility for indemnity of the Municipality and its agents, employees, contractors and subcontractors for liability not covered by such insurance or in excess of the policy limits of such insurance.

#### **INTERIM COMPLETION CERTIFICATE**

45. Upon completion of:
- 45.1 the underground services to be constructed and installed as part of the Phase V Works;
  - 45.2 all street signs and regulatory signage have been provided to the satisfaction of the Municipal Engineer;
  - 45.3 subject to section 46, all utilities required by section 31;
  - 45.4 subject to section 46, all street lights such that they are fully operational;
  - 45.5 construction of the multi use Trail as required by sections 81 and 81.1 below or alternatively the submission of an undertaking binding the corporation confirming that the Trail will be completed within a period of nine (9) months from the date of the issuance of the Interim Completion Certificate referred to below; and

Timberwalk Phase V  
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- 45.6 a full depth granular B road base suitable for emergency vehicle access on all roads to be constructed as part of the Phase V Works;

the Subdivider may submit to the Municipal Engineer an Interim Completion Certificate and may apply for a partial release of security in accordance with section 42.

The Interim Completion Certificate shall include:

- 45.7 a certification in substantially the form set out in Schedule "K";
- 45.8 a solicitor's opinion as to utilities' easements, if any, as required by section 32;
- 45.9 a solicitor's opinion with respect to Canada Post community mail box, if any, as required by section 34;
- 45.10 a video camera inspection of all storm and sanitary sewers accompanied by a written report from the inspection company;
- 45.11 confirmation that deflection testing was satisfactorily completed on all PVC sewers using a suitable mandrel in accordance with Ontario Provincial Standards Specification;
- 45.12 a report identifying any deficiencies in the Phase V Works and how such deficiencies are to be addressed; and
- 45.13 an updated Surface Features Plan certified by the Subdivider's Engineers, showing the location of:
- 45.13.1 TV Cable pedestal boxes,
  - 45.13.2 Pedestal boxes for Bell Canada or such other telephone and telecommunication service provider as has been designated by the Municipality,
  - 45.13.3 Electric transformers,
  - 45.13.4 Utility Easements,
  - 45.13.5 Canada Post community mailboxes.

So long as the Subdivider is not in default under this Agreement, once the Municipal Engineer has confirmed, to the satisfaction of the Municipal Engineer, completion of those things enumerated in sections 45.1 to 45.6, inclusive, and the location and acceptability of the items shown on the Surface Features Plan, the Municipal Engineer

shall issue an Interim Certificate of Provisional Acceptance with respect to the Phase V Works.

#### **ARRANGEMENTS FOR UTILITY INSTALLATION**

46. Notwithstanding the requirement of paragraph 45 that the utilities referred to in section 31 are to be completed and that street lights are to be fully operational before the Subdivider may submit to the Municipal Engineer an Interim Completion Certificate, if some or all of such utilities have not been completely constructed and installed and if some or all of the required street lighting is not fully operational, the Subdivider may submit an Interim Completion Certificate accompanied by executed contracts or other evidence that the all required utilities and street lighting have been scheduled for installation as well as a solicitor's opinion as to utilities' easements as required by section 32. If the Municipal Engineer is satisfied that utilities and street lighting not then completed will be installed and completed prior to the occupancy of any units in the case of utilities and within six (6) months of the Interim Completion Certificate in the case of street lighting, the Municipal Engineer may issue an Interim Certificate of Provisional Acceptance.

#### **WINTER ROAD MAINTENANCE**

47. The Subdivider shall be responsible for all winter road maintenance. After the issuance of the Interim Certificate of Provisional Acceptance by the Municipal Engineer, the Municipality may but is under no obligation to, at the Subdivider's expense, undertake winter maintenance of roads within the Phase V Land, but the doing of such work by the Municipality shall not amount to a waiver of any of its rights including but not limited to its rights to require completion, maintenance or repair of the roads as required by this Agreement nor shall the Municipality be deemed to have accepted or assumed such roads. Until the Phase V Works are completed and finally accepted by the Municipality by a by-law, as contemplated by section 53, the Subdivider shall remain responsible for rectification of any damage to the Phase V Works which may occur in the course of winter maintenance operations whether by the Municipality or by others.

#### **MIDDLESEX CENTRE'S WATER DISTRIBUTION SYSTEM**

48. The Subdivider and the Subdivider's Engineer shall review the Middlesex Centre Drinking Water Works Permit and Municipal Drinking Water Licence (the "**Municipality's Drinking Water Works**") as available on the Municipality's website to ensure that they are aware of, and comply with, all of the requirements of the Municipality's Drinking Water Works for the Municipality's Water Distribution System. All watermains and appurtenances thereto constructed as part of the Phase V Works will form part of the Municipality's Water Distribution System as defined by the *Safe Drinking Water Act, 2002*, S.O. 2002, c.32 as may be amended or replaced from time to time. The Subdivider shall confirm in writing no more than three (3) weeks following the execution of this Agreement and prior to commencing any construction activities confirmation that the Subdivider and

Subdivider's Engineer have reviewed the Middlesex Centre Drinking Water Works Permit and Municipal Drinking Water Licence.

### **COMPLETION CERTIFICATE**

49. Upon the completion of all of the Phase V Works and of all utilities to be constructed and installed as required by section 31, the Subdivider may submit to the Municipal Engineer a Certificate of Completion and may apply for a partial release of security in accordance with section 42.

The Completion Certificate shall include:

- 49.1 a Completion Certificate issued by the Subdivider's Engineers in substantially the form set out in Schedule "L", certifying that the Phase V Works have been installed, constructed, maintained and repaired, in accordance with the approved plans and specifications and in accordance with this Agreement;
- 49.2 a certificate issued by the Subdivider's Engineers to the following effect:
- 49.2.1 dwellings have been completed on at least 90% of the lots as shown on the Phase V Plan;
- 49.2.2 the stormwater management facilities and features required as part of the Phase V Works have been in full service for at least one (1) year and that such facilities have during that one (1) year period operated in accordance with the current guidelines and standards prescribed by the Municipality and otherwise in accordance with the design objectives set out in the documentation referred to in section 18 of this Agreement;

and such certificate shall be accompanied by the Subdivider's Engineers' report of monitoring of the stormwater management facilities and the monitoring results which demonstrate that such design objectives have been met.

- 49.3 a video camera inspection of all storm and sanitary sewers completed within a period of no more than sixty (60) days following the issuance of the completion certificate accompanied by a written report from the inspection company and a certificate issued by the Subdivider's Engineers that the storm and sanitary sewers have been flushed and cleaned within a period of no more than sixty (60) days following the issuance of completion certificate;
- 49.4 a certificate issued by the Subdivider's Engineers that all water valves, curb stops and hydrants have been inspected for operation;
- 49.5 a Statutory Declaration of an authorized senior officer of the Subdivider declaring that all accounts that are payable in connection with the installation, construction,

maintenance and repair of the Phase V Works have been paid and that there are no outstanding claims relating thereto;

- 49.6 a certified statement of a registered Ontario Land Surveyor that such Ontario Land Surveyor has found or replaced all standard iron bars as shown on the Phase V Plan at a date not earlier than thirty (30) days before the submission to the Municipality for the Completion Certificate;;
- 49.7 a Final Lot Grading Certificate issued by the Subdivider’s Engineers for each lot and block on the Phase V Plan certifying that the grading and drainage for each lot and block are in accordance with the approved Subdivision Grading Plan; provided that, in the case of lots and blocks on the Phase V Plan for which grading certificates have been issued in accordance with section 65.8 below, such grading certificates will be sufficient to satisfy the requirements of this section 49.7 with respect to the lots and blocks to which they apply;
- 49.8 drawings showing the Phase V Works “as built” in a digital Auto CAD file, release 14 or 2000 in DWG or DXF format with layering and line work in accordance with municipal CAD standards;
- 49.9 two (2) sets of full sized drawings showing the Phase V Works “as built”;
- 49.10 a computer data file to incorporate the development’s parcel fabric into the Ontario Base Mapping, which data file shall be provided to the Municipality in pdf format and in the following format:

An AutoCAD file, RELEASE 14 or 2000, in DWG or DXF format. The file should only contain linework of the boundary, streets, lots and blocks as well as lot numbers and street names. No other information should be contained in the file. The linework must consist of closed polygons for each lot or block on the Phase V Plan. The file must be delivered in digital format in a manner acceptable to the Municipal Engineer.

The files delivered to the Municipality shall be in metric units and relate to the UTM grid, Zone 17, 1976 adjustment, and contain only UTM coordinates such that the file can be directly overlaid on the mapping with no scaling or further adjustment. The development must be related to UTM control in a manner which conforms substantially with the “Guidelines For Relating

Cadastral Surveys To Control Survey Networks” published by the Association of Land Surveyors. To this end, the Subdivider shall cause to be supplied the surveyors’ field notes and raw data showing the times to control.

49.11 an asset inventory in accordance with the attached Schedule “M”.

So long as the Subdivider is not in default under this Agreement and once the Municipal Engineer has confirmed, to the satisfaction of the Municipal Engineer, completion of all of the Phase V Works and of all utilities to be constructed and installed as required by section 31, the Municipal Engineer shall issue a Certificate of Provisional Acceptance with respect to the Phase V Works whereupon the Warranty Period, as hereinafter defined, shall commence.

#### **WARRANTY PERIOD**

50. The Subdivider shall maintain and repair the Phase V Works for a period of at least one year commencing on the date of the issuance by the Municipal Engineer of the Certificate of Provisional Acceptance and continuing until the Municipality shall have finally accepted the Phase V Works, by by-law, as provided in section 53 (hereinafter and hereinbefore referred to as the “**Warranty Period**”); and the Subdivider shall repair any defects in the Phase V Works which shall become apparent within the Warranty Period.

#### **USE BY MUNICIPALITY**

51. The Subdivider agrees that:

51.1 The Municipality or any other authorized person may use the Phase V Works for the purpose for which they are designed, notwithstanding that such Phase V Works may not have been provisionally or finally accepted by the Municipality;

51.2 Such use shall not be deemed an acceptance of the Phase V Works by the Municipality; and

51.3 Such use shall not in any way relieve the Subdivider of the obligation to construct, install, maintain and repair the Phase V Works so used.

#### **FINAL ACCEPTANCE**

52. Upon completion of the installation, construction, maintenance and repair of the Phase V Works, including all maintenance and repair required during the Warranty Period, the Subdivider shall:

52.1 Submit to the Municipality a Final Lot Grading Certificate issued by the Subdivider’s Engineers at a date not earlier than thirty (30) days before the submission to the Municipality for the Final Completion Certificate certifying that



the grading and drainage for each lot and block are in accordance with the approved Subdivision Grading Plan accompanied by all of the Final Grading Certificates issued on a lot-by-lot basis by the Subdivider's Engineers in connection with the Phase V Plan as contemplated by section 65.8 below;

- 52.2 Submit to the Municipality a Final Completion Certificate issued by the Subdivider's Engineers in substantially the form set out in Schedule "L", certifying that the Phase V Works have been installed, constructed, maintained and repaired, in accordance with the approved plans and specifications and in accordance with this Agreement;
- 52.3 Submit to the Municipality copies of the updated application documents of the MECP Environmental Compliance Approval Certificates for storm, sanitary, and stormwater management facilities which are to be assumed by the Municipality. The updated applications are to reflect the Municipality as being owner of the Phase V Works. (The Subdivider is to be responsible for all fees payable to the Ministry in relation to the issuance of updated certificates);
- 52.4 Submit a letter from the MECP acknowledging that the applications noted in section 52.3 are complete and have been received by the Ministry;
- 52.5 Submit to the Municipality a Statutory Declaration of an authorized senior officer of the Subdivider declaring that all accounts that are payable in connection with the installation, construction, maintenance and repair of the Phase V Works have been paid and that there are no outstanding claims relating thereto; and
- 52.6 Submit to the Municipality a certified statement of a registered Ontario Land Surveyor that such Ontario Land Surveyor has found or replaced all standard iron bars as shown on the Phase V Plan at a date not earlier than thirty (30) days before the submission to the Municipality for the Final Completion Certificate.

#### **ASSUMPTION OF PHASE V WORKS**

- 53. Within thirty (30) days after the submission for the Final Completion Certificate, together with all else required as contemplated by section 52, the Municipal Engineer shall, either:
  - 53.1 Confirm the Final Completion Certificate and issue a Certificate of Final Acceptance, or
  - 53.2 Issue to the Subdivider a statement of deficiencies in the grading, whether or not the Subdivider is then the owner of the Phase V Land in respect of which there is a deficiency, and of the deficiencies in the construction, installation, maintenance, or repairs of the Phase V Works and,

so long as the Subdivider is not in default under this Agreement and after the Subdivider has rectified all of such deficiencies to the satisfaction of the Municipal Engineer, the Municipal Engineer shall issue a Certificate of Final Acceptance; whereupon the Municipality shall, within thirty (30) days enact a by-law assuming ownership of the Phase V Works thereby terminating the Warranty Period; and such security as is then retained by the Municipality shall be released to the Subdivider.

### **STAGING OF PHASE V WORKS**

54. Notwithstanding the completion schedule set out in section 23, the Subdivider may construct and install the Phase V Works in two or more Stages if and so long as the Stages are approved in advance and are to the satisfaction of the Municipal Engineer subject to the following provisions:
- 54.1 The Municipal Engineer shall determine those portions of the Phase V Works that are to be undertaken to complete the servicing of each Stage.
- 54.2 For each Stage, there shall be the following:
- 54.2.1 Separate Authorizations to Commence Work as contemplated by section 23 of this Agreement; and
- 54.2.2 Separate certificates as contemplated by sections 45 and 49 of this Agreement.
- 54.3 No Stage of the Phase V Works are to be assumed by the Municipality as contemplated by section 53 of this Agreement until all Stages are assumed; and the Warranty Period on all Stages shall continue until all Stages of the Phase V Works are assumed at once as a single unit as in accordance with section 53 of this Agreement.

### **CONSTRUCTION LIEN**

55. The Subdivider shall pay promptly those employed in the construction, installation, maintenance and repair of the Phase V Works, but shall hold back such sums as are required to be held back by the *Construction Lien Act* and the Subdivider shall indemnify the Municipality against any losses, claims, actions or demands for Construction Liens or otherwise in connection with the Phase V Works; and, on demand by the Municipality, the Subdivider shall forthwith discharge any such lien or any certificate of action which may be registered against the Phase V Works or the Phase V Land.

### **RIGHT OF INSPECTION**

56. The Municipal Engineer shall have the right at any time and from time to time to enter upon the Phase V Land and other land upon which any of the Phase V Works are or are to be constructed or installed and to make such tests and inspections as to the Municipal

Engineer may seem desirable, and to make and to call for and obtain any document, contract, plan, specification, record or other writing or thing which, in the Municipal Engineer's opinion, is desirable to obtain in order to facilitate such inspection and supervision and, if the Municipal Engineer shall deem it necessary, to engage technical consultants to assist him in the performance of any inspection or supervision which technical consultants, if engaged, shall be paid by the Subdivider.

### **MUNICIPAL ENGINEER ORDERS**

57. If the Municipal Engineer is not satisfied that installation, construction, maintenance or repair of the Phase V Works is being done in accordance with the approved plans and specifications or in accordance with good engineering practice, the Municipal Engineer may stop the Phase V Works for any length of time until he is so satisfied; and, if the Municipal Engineer deems that the Phase V Works is not proceeding in a proper manner, he may stop the Phase V Works and require that another contractor be placed on the job to complete the Phase V Works and all costs incurred by the Municipality in so doing shall be paid by the Subdivider forthwith upon demand by the Municipality.

### **REMEDIES**

58. In addition to any other remedy which the Municipality may have against the Subdivider for breach of or default under this Agreement, the Municipality, at its option, may adopt and pursue any one or more or all of the following remedies:
- 58.1 Enter and re-enter the Phase V Land and complete any part of all of the Phase V Works in respect of which there has been breach or default, including the repair, reconstruction and replacement of faulty work and materials and may recover the cost of so doing from the Subdivider;
- 58.2 Make any payment, which ought to have been made by the Subdivider and recover the amount thereof from the Subdivider;
- 58.3 Do any other thing required of the Subdivider by this Agreement and recover the cost of so doing from the Subdivider;

provided that the Municipality shall give the Subdivider at least five (5) days' prior notice, except in cases of the Phase V Works not functioning or not functioning properly such that in the opinion of the Municipality action is immediately necessary to prevent damage or hardship to persons or property in which case no prior notice need be given; and it is understood and agreed by the Parties that the entry upon the Phase V Land by the Municipality or the doing of anything by the Municipality as authorized by this paragraph 58 shall be as agent for the Subdivider and shall not be deemed an acceptance of the Phase V Works by the Municipality and shall not in any way relieve the Subdivider of the obligations of this Agreement; and the Subdivider covenants and agrees that neither it nor any of its agents, servants, officers or contractors shall interfere in any way

with anything done or authorized to be done pursuant to this section 58 by the Municipality.

#### **COURT ACTION**

59. In addition to any other remedy which the Municipality may have against the Subdivider for breach of this Agreement, the Municipality may bring an action to restrain or to compel specific performance of all or any part of this Agreement and for damages.

#### **BUILDING PERMIT REMEDY**

60. In addition to any other remedy which the Municipality may have against the Subdivider for breach of this Agreement, the Municipality may refuse or revoke any building permit or permits that have been granted to the Subdivider or to any other person, provided such other person has not commenced construction, and may refuse to issue any further building permits until the Subdivider's breach or default has been rectified.

#### **REALIZING SECURITY**

61. In addition to any other remedy which the Municipality may have against the Subdivider for breach of this Agreement, after first giving five (5) days' notice to the Subdivider, the Municipality may, at any time and from time to time, realize upon and enforce any security available to it and use the funds derived therefrom to pay the cost of doing any work or thing in respect of which the Subdivider is in breach or default, or to recover such costs if the Municipality has done such work or thing prior to realizing upon and enforcing the security. Similarly, the Municipality may recover any money which it has paid and which the Subdivider ought to have paid or any money which is otherwise due to the Municipality from the Subdivider under the terms of this Agreement. If the funds derived from the security exceed the amount due to the Municipality, the excess shall be refunded to the Subdivider upon final acceptance and assumption of the Phase V Works by by-law as contemplated by section 53; but, if there is a deficiency, the same shall be recoverable from the Subdivider forthwith upon demand.

#### **CALL ON LETTER OF CREDIT**

62. In the event that notice is received by the Municipality that the Letter of Credit required pursuant to section 40 hereof will not be renewed or will be revoked or will otherwise expire or terminate, the Municipality may, at any time and from time to time, demand that all or any part of the funds available under such Letter of Credit be paid to the Municipality and, when so paid, the same shall be placed in a separate interest bearing account in the name of the Municipality which account, together with any interest thereon, shall stand as additional security for the performance of the Subdivider's obligations under this Agreement and the provisions of this Agreement regarding the release of the Letter of Credit security shall apply *mutatis mutandis* to the release of funds out of the said separate account to the Subdivider.

### **REPLACEMENT OF LETTER OF CREDIT**

63. Where any payment is demanded or made under the Letter of Credit, the Subdivider shall forthwith cause a new Letter of Credit to be issued to reinstate the amount secured by such Letter of Credit in the same amount as was available under the Letter of Credit prior to the demand or making of the payment thereunder.

### **LOT GRADES**

64. The Subdivider shall, at all times, maintain or cause to be maintained the elevations and grades on all lots and blocks as shown on the Phase V Plan in accordance with the Grading Plan which has been approved in accordance with this Agreement; and as well, the Subdivider shall require any purchaser from it to covenant likewise in favour of the Subdivider and the Municipality in a form which is capable of registration on title and in a form which is enforceable by the Municipality against such purchaser and any and all subsequent owners and occupiers of the lot or block.

### **DEVELOPMENT CONTROL**

65. As a condition of the development or redevelopment of any lot within the Phase V Plan, the provision, maintenance and use of the following facilities and matters are required and regulated as follows:
- 65.1 The owner of each lot shall provide and maintain a paved parking area on the lot and a paved driveway from the traveled portion of the street from which access to the lot is permitted to such parking area on the lot. The Subdivider shall ensure that the paving from the street line to the back of curb for each lot that has been issued a building permit is completed prior to assumption;
  - 65.2 The owner of each lot shall connect the dwelling to the sanitary sewer P.D.C. located at the property line in accordance with the Municipality's specification for sewer installations;
  - 65.3 No owner of a lot shall be permitted to directly and/or indirectly connect a basement drainage system, including any weeping tile, to the municipal storm sewer system, and/or the municipal sanitary sewer system;
  - 65.4 The owner of each lot shall maintain that portion of the street from which access to the lot is available between the lot line and the traveled portion of the street;
  - 65.5 The owner of each lot shall affix their assigned municipal street number to the main dwelling on the lot, a minimum of 12.7 centimetres in height and clearly visible from the road, all in accordance with the Municipality's municipal addressing policies;

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- 65.6 The owner of each lot shall submit to the Municipality for review and approval, a detailed site plan showing the location and dimensions of all buildings and structures to be erected upon the lot and a Lot Grading Plan identifying the proposed grading and appurtenant drainage works. Both plans shall be issued by an Ontario Land Surveyor or qualified Professional Engineer. The Lot Grading Plan shall be stamped by the Subdivider's Engineer certifying that "the grading and drainage comply with sound engineering design and that the proposed grading is in general conformity with the Grading Plan which has been approved in accordance with this the Agreement"
- 65.7 The owner of each lot shall provide to the Municipality an interim certificate prepared by an Ontario Land Surveyor or a qualified Professional Engineer within thirty (30) days after completion of building foundations certifying the exact location of all structures and the final footing elevations are in conformity with the site plan referred to in section 65.6;
- 65.8 Within thirty (30) days after completion of the development or re-development of the lot, the owner of the lot shall cause a Final Grading Certificate to be prepared by the Subdivider's Engineers that includes a certification that the lot grades and the location of all structures then on the lot are in conformity with the site plan referred to in section 65.6 and the lot grading plan referred to in section 65.6; the Subdivider's Engineers shall provide such Final Grading Certificate to the Municipality upon request and shall maintain all such Final Grading Certificates issued in connection with the Phase V Plan until the submission to the Municipality of the Final Completion Certificate contemplated by section 52.2 above at which time the Subdivider's Engineers shall also provide to the Municipality all Final Grading Certificates issued in connection with the Phase V Plan;
- 65.9 The owner of each lot shall maintain, repair and replace any and all aspects of the stormwater management systems for the Phase V Land which may be located on the lot and shall at all times comply with the obligations and burdens of any easement required by section 30 of this Agreement as it affects the lot;
- 65.10 The owner of each lot shall maintain in good repair any walls, fences or hedges located on the lot and any other suitable ground cover located on the lot to provide adequate landscaping of the lot and to provide protection to adjoining properties.
- 65.11 The Subdivider shall within a period of 180 days follow occupancy of each lot provide to the Municipality:
- 65.11.1 the Final Grading Certificate referred to in section 66.8 above;

Failure to complete the work required by this section 65.11 in a form and manner acceptable to the Municipality, acting reasonably, may result in the Municipality fulfilling these requirements with all costs and subject to the Letter of Credit provisions set out in section 40, Letter of Credit for which all such security shall be for the purpose of securing performance of all the obligations of the Subdivider under this Agreement including but not limited to those obligations set out under this section 65.11.

### **MAINTENANCE OF LOTS**

66. The facilities and works required by paragraph 65 shall be provided and maintained by the owner of each lot from time to time at such owner's sole risk and expense and to the satisfaction of the Municipality; and, in default thereof, in addition to any other remedies which may be available to the Municipality, the provisions of Section 446 of the *Municipal Act, 2001* shall apply for the purpose of securing rectification of the default.

### **BUILDING PERMITS**

67. The Subdivider shall not apply for, nor shall anyone claiming title from it, or under it or their authority, apply for a building permit to construct a dwelling or any building or structure on any lot or block shown on the Phase V Plan and no building permit for the development or redevelopment of any lot or block as shown on the Phase V Plan shall be issued until:
- 67.1 The Municipality has issued the Interim Certificate of Provisional Acceptance as contemplated by section 45; and
- 67.2 The individual lot site plan and the individual lot grading plan have been approved by the Municipality.

### **MAINTENANCE OF ROADS**

68. The Subdivider shall be responsible for all road maintenance. The Subdivider shall maintain a granular base for the roadways in a well-graded dust and mud-free condition fit for normal traffic at all times and will erect street signs and traffic and speed limit signs of a design in accordance with Provincial standards.

### **COST OF WORKS**

69. The Subdivider, when selling any lots on the Phase V Plan shall include in the price thereof the costs of the Phase V Works in order that a purchaser shall not be required to pay any of the cost thereof over and above the purchase price paid to the Subdivider for the said lot save and except the payment of development charges or *Municipal Act* rates which may be required to be paid to the Municipality by third party purchasers from the Subdivider in accordance with and as contemplated in section 35 of this Agreement.

### **COVENANT OF PURCHASERS**

70. The Subdivider shall not accept any offer to purchase any lot within the Phase V Plan unless the Subdivider has given to such offeror, prior to the making of such offer, written notice about section 65 and its provisions prescribing conditions of development or redevelopment and restricting the application for and issuance of building permits; and as well the Subdivider shall prior to transferring any part of the Phase V Land register notice of the section 65 requirements under this Agreement by way of registered restrictions on title to the Phase V Land which shall run with the Phase V Land in a form which is enforceable by the Municipality against such purchaser and any and all subsequent owners and occupiers of the Phase V Land.

### **NOTICE TO PURCHASERS REGARDING PUBLIC SCHOOLS**

71. When selling or leasing any Lot shown on the Phase V Plan, the Subdivider shall include the following notice in all Agreements of Purchase and Sale or Lease before any purchaser is bound thereby:

The construction of additional public school accommodation is dependent upon funding approval from the Ontario Ministry of Education, therefore the subject community may be designated as a "Holding Zone" by the Thames Valley District School Board and pupils may be assigned to existing schools as deemed necessary by the Board.

### **DEDICATION AND STREET NAMES**

72. The Subdivider agrees to dedicate to the Municipality the road allowances included in the Phase V Plan as public highways, and to name such road allowances such street names to the satisfaction of the Municipality, and the Subdivider agrees to accept the designation by the Clerk of municipal numbers for the lots on the Phase V Plan.

### **PROPERTY TAXES AND RELATED ASSESSMENTS**

73. The Subdivider shall pay all taxes, including all water and sewer rates and assessments, levied on the Phase V Land in accordance with the assessment thereof until the Phase V Land has been assessed according to the Phase V Plan, after which, the Subdivider shall pay the taxes levied on any and all lots which the Subdivider continues to own, whether municipal tax exempt or not, of which the Municipality is the owner. If there are any existing local improvements or other rates or charges in respect of the Phase V Land, including any that relate to the construction, maintenance and repair of municipal drains, the Subdivider shall commute and repay same within ten (10) days after the execution and delivery of this Agreement by the Municipality.



### **MUNICIPAL COSTS**

74. The Subdivider agrees to pay to the Municipality its reasonable costs incurred for land use planning, engineering, surveying and legal fees and disbursements and for the cost of administration, supervision and all other work and services required by the Municipality in connection with this Agreement and the following provisions apply:
- 74.1 The Municipality shall be entitled to be reimbursed for its actual costs for engineering, administration and legal fees and disbursements and for the cost of administration, supervision and all other work or services required by the Municipality, including the negotiations leading to and the preparation of any agreements, including this Agreement, costs of dealing with questions, complaints and other communications as set out in section 75 below and costs arising out of the realization upon any security given thereunder;
- 74.2 The Municipality shall be entitled to be paid for time spent by its planning, public works and administrative staff in the administration and supervision of the development of the Phase V Land, including negotiation and preparation of Subdivision agreements, including this Agreement, the completion of all work required by the Subdivision agreement, including this Agreement, and the realization upon any security given thereunder;
- 74.3 The hourly rates to be charged by the Municipality for its staff as contemplated by section 74.2 shall be established by resolution of the Municipal Council from time to time and as set out in the Municipality's Fees and Charges By-law as may be amended and replaced from time to time.; and
- 74.4 The Municipality may issue invoices to the Subdivider, from time to time, for its expenses and for the time of its staff, and the Subdivider shall pay the same within thirty (30) days of receipt..

### **COMPLAINT PROCEDURE**

75. The Parties acknowledge that from the time when the Phase V Land is rough graded as contemplated by section 23 above, during construction and installation of the Phase V Works in accordance with this Agreement, during the Warranty Period and until final acceptance and assumption of the Phase V Works by a by-law of the Municipality, as contemplated by section 53, the Municipality may receive questions, complaints and other communications about the construction, installation, maintenance and repair of the Phase V Works and about the maintenance of the Phase V Land, roads and pedestrian walks within the Phase V Land as required by section 26 above and about matters related to building construction on and development of the Phase V Land. The Parties agree that any such questions, complaints or other communications addressed to the Municipality shall be referred to the Municipality's Engineer who shall refer the same to the Subdivider's Engineers for response and resolution. The Parties further agree that the

Municipality's cost of involvement of the Municipality's Engineer in this complaint procedure shall be reimbursed by the Subdivider as part of the cost of administration, supervision and all other work required by the Municipality in connection with this Agreement as contemplated by section 74 above.

#### **OUTSTANDING INVOICE PAYMENTS**

76. Concurrently with the Subdivider's execution of this Agreement, the Subdivider shall pay to the Municipality its costs incurred for land use planning, engineering, surveying and legal fees and disbursements and for the cost of administration, supervision and all other work required by the Municipality in connection with this Agreement incurred or arising up to the time of the execution of this Agreement.

#### **RIGHT TO CONTEST MUNICIPALITY'S COSTS**

77. The Subdivider shall have the right to contest the reasonableness of the amount of any of the Municipality's expenses in respect of which the Subdivider is required to reimburse the Municipality pursuant to section 74 of this Agreement provided that such right must be exercised by written notice to the Municipality within thirty (30) days after the Subdivider has been advised of the amount of such expenses. Such notice to the Municipality shall be accompanied by sufficient funds to pay the amount being contested or security therefor. The amount of such expenses shall be determined by a court of competent jurisdiction and the Subdivider shall indemnify the Municipality, on a full indemnity basis for all costs or expenses incurred by the Municipality in connection with such determination.

#### **CONFLICT OF REQUIREMENTS**

78. In the event of a conflict between the requirements of the Municipality and those of any regulatory body, those of the regulatory body shall prevail unless the requirements of the Municipality are more demanding, in which case the Municipality's requirements shall prevail; and, in the event of any dispute as to which are more demanding, the Municipal Engineer's decision shall be final and binding as between the Subdivider and the Municipality.

#### **EXPENSE OF OWNER**

79. Every provision of this Agreement by which the Subdivider is obliged in any way shall be deemed to include the words "at the sole expense and cost of the Subdivider" unless the context explicitly requires otherwise.

#### **OPEN SPACE BLOCKS**

80. The Subdivider agrees to take all necessary steps to ensure the protection of the woodland / wetland areas identified as Blocks 59, 60, 61, 62 and 63 and at no time shall engage in any grading or site alteration activities on those Blocks save and except for any

restoration planting identified in the buffer planting plan acceptable to the Conservation Authority and approved by the Municipal Engineer.

- 80.1 Following the completion of the natural heritage buffer the Subdivider shall prepare and submit for acceptance by the Conservation Authority and to the satisfaction of the Municipality a report setting out the timing of the planting, the number and location of the species planted, and any outstanding issues to be addressed;
- 80.2 Immediately prior to assumption by the Municipality the Subdivider shall confirm that, at a minimum, 90% of the plantings set out in the buffer planting plan have survived, in the event that less than 90% of the plantings have survived as set out in the planting plan the Subdivider shall be responsible for replacing the restoration plantings identified in the buffer planting plan.

## TRAIL PLAN

81. The Subdivider shall prepare a trail plan (the “**Trail Plan**”) for review and acceptance by the Conservation Authority and to the satisfaction of the Municipality. The Trail Plan shall involve the recommendations of a qualified biological consultant that takes into consideration measures to reduce trail impacts on the natural heritage features and such measures identified shall be implemented by the Subdivider. The Trail Plan shall take into consideration the placement of trails, trail surface, trail maintenance, and grading.
- 81.1 The Subdivider shall construct the Trail as set out in the Trail Plan to the satisfaction of the Municipal Engineer prior to the issuance of the Interim Certificate of Provisional Acceptance as set out in section 45 above.
- 81.2 When selling or leasing any Lot shown on the Phase V Plan abutting an area designated open space and/or park and/or used for the purposes of a trail, the Subdivider shall include the following notice in all Agreements of Purchase and Sale or Lease before any purchaser is bound thereby:
- The construction of a publicly accessible trail and/or open space and/or park may be located within 1.8 metres of the rear lot line of the property.
82. The Municipality acknowledges and agrees that the Subdivider is constructing at its own costs the Trail Plan. The Trail is not presently included within the Municipality’s 2019 Development Charges Background Study or 2021 Development Charges Update Study. The Municipality acknowledges the Subdivider’s submissions that such costs may be considered and treated as a recoverable item and included within the next scheduled development charges update study so that such costs may, if considered appropriate, a recoverable item against the Municipality’s development charges reserve fund.

## ST. CLAIR REGION CONSERVATION AUTHORITY

83. The Subdivider shall, as it relates to the natural heritage buffer area:
- 83.1 engage in the plantings of the natural heritage buffer as set out in the Ecological Buffers and Compensation Area Planting Plan prepared by Natural Resource Solutions Inc. (NRSI) dated October 29, 2021 (the “**Natural Heritage Buffer Area**”);
  - 83.2 following the plantings referred to in section 82.1 above prepare and submit to the Conservation Authority and the Municipality for review and approval a report by a qualified person setting out the timing of the plantings in the Natural Heritage Buffer Area, the number and location of the species of trees and shrubs planted (collectively referred to as the “**Plantings**”), in addition to setting out any other outstanding issues to be addressed as it relates to the Natural Heritage Buffer Area;
  - 83.3 engage Natural Resource Solutions Inc. (NRSI), or the Subdivider’s qualified professional, to monitor the Natural Heritage Buffer Area once annually for a period of two years following the Plantings to assess and inspect the Plantings in order to determine survivorship and establishment success of the Plantings. Success of the Plantings shall be measured by confirmation of a minimum of 70% survival of the Plantings (the “**Annual Report**”).
  - 83.4 confirm a 70% survival rate of the Plantings for a period of two (2) years following the date of the Plantings (the “**Required Survival Rate**”).
  - 83.5 following receipt of the Annual Report a further report shall be prepared by Natural Resource Solutions Inc. (NSRI), or the Subdivider’s qualified professional, and submitted to the satisfaction of the Conservation Authority and Municipality clearly outlining the survival rates of the Plantings and any adaptive management measures necessary to meet the Required Survival Rate (the “**Survival Rate Report**”).
  - 83.6 in the event that the Required Survival Rate is not achieved in the two (2) year period the Subdivider shall be required to plant additional trees and shrubs (the “**Additional Plantings**”) in the Natural Heritage Buffer and shall be required to enter into a separate agreement with respect to the monitoring requirements associated with the Additional Plantings.

## CONSTRUCTION BEST MANAGEMENT PRACTICES

84. The Subdivider agrees to follow the construction best management practices as set out in the Development Assessment Report prepared by NSRI and dated November 2018.

### **INTEREST AND LIENS**

85. In the event that there are monies due from the Subdivider to the Municipality which have not been paid within thirty (30) days after receipt by the Subdivider of a demand therefor by the Municipality, interest shall be payable on the amount due at the rate of one and one quarter (1¼%) per cent per month, compounded monthly, (equivalent effective annual rate of 16.08%) determined and calculated from the date on which such monies were due and the amount due together with interest thereon shall constitute a lien upon the Phase V Land.

### **ESTOPPEL**

86. The Subdivider shall not call into question, directly or indirectly, in any proceedings whatsoever, in law or in equity, or before any administrative tribunal, the right of the Municipality to enter into this Agreement or to enforce each and every covenant and condition herein contained and this Agreement shall be pleaded as an estoppel against the Subdivider in such proceeding.

### **BY-LAWS BINDING**

87. Notwithstanding any provisions of this Agreement, the Subdivider and all persons taking title to the Phase V Land from it shall be subject to all of the by-laws of the Municipality.

### **TIME OF ESSENCE**

88. Time shall be of the essence hereof in all respects but the Municipality may by notice to the Subdivider waive any default of the Subdivider on such terms and conditions as the Municipality may determine, provided that the right of the Municipality to require strict performance by the Subdivider of any and all obligations imposed by the Subdivider hereunder shall not be affected in any way by any previous waiver, forbearance or course of dealing.

### **GIVING OF NOTICE**

89. Any notice, request, order, demand, certificate or any other communication required or permitted to be given under this Agreement shall be in writing and, unless some other method of giving the same is accepted by the person to whom it is given, shall be given by registered mail or by being delivered to the person to whom it is to be given at the appropriate address set out below:

For the Subdivider:

Sifton Properties Limited,  
Suite 300,  
1295 RiverBend Road,  
LONDON, Ontario N6K 0G2

Attention: Phillip Masschelein

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Email: [phil.masschelein@sifton.com](mailto:phil.masschelein@sifton.com)

For the Municipality:

Municipality of Middlesex Centre,  
R.R. #2, 10227 Ilderton Road,  
ILDERTON, Ontario N0M 2A0

Attention: Clerk

Email: [hutson@middlesexcentre.on.ca](mailto:hutson@middlesexcentre.on.ca)

or such other address as may be furnished by such person, and shall be deemed effective, four (4) business days after the date of mailing thereof unless postal employees at the point of mailing or at the point of delivery are on strike at any time during the four business days following the time of mailing, in which event it shall be effective when delivered to the addressee.

#### **ASSIGNMENT**

90. The Subdivider shall not assign this Agreement without the prior written consent of the Municipality which consent is not to be unreasonably withheld by the Municipality provided that any such assignee executes an agreement assuming the obligations of the Subdivider under this Agreement in a form satisfactory to the Municipality's Solicitor.

#### **SEVERABILITY**

91. If any provision of this Agreement shall be found or declared by a Court of competent jurisdiction to be invalid, unenforceable or *ultra vires* the Municipality, then such provision shall conclusively be deemed to be severable and the remainder of this Agreement, *mutatis mutandis*, shall be and remain in full force and effect.

#### **NUMBER AND GENDER**

92. In this Agreement, unless the contrary intention appears, words importing only the singular number or masculine gender shall include more persons, parties or things of the same kind than one and the feminine and neuter gender; and if there are more Subdividers than one, the covenants of such Subdividers shall be joint and several.

#### **INTERPRETATION**

93. The captions, titles and headings in this Agreement are inserted for convenience of reference only and do not define, limit or enlarge the scope, meaning or intent of any provisions.

**BINDING**

94. The covenants, agreements, conditions and undertakings herein contained on the part of the Subdivider shall run with the Phase V Land and shall be binding upon the Subdivider and upon its successors and assigns, as owners and occupiers of the Phase V Land, from time to time and shall be appurtenant to the adjoining highways in the ownership of the Municipality; and this Agreement shall enure to the benefit of and be binding upon the Municipality and its successors and assigns.

**PHOTO REDUCED SCHEDULE ATTACHMENTS**

95. This Agreement describes in detail a number of plans and drawings which form part of this Agreement. Photographic reductions of copies of the plans and drawings are reproduced in Schedules to this Agreement to facilitate registration of this Agreement on title to the Phase V Land. Full-scale originals of such plans and drawings are maintained by the Municipality and are available from the Municipality for viewing upon request during the Municipality's normal business hours. In the event that the Land Registrar (hereinafter referred to as the "**Land Registrar**") for the Land Titles Division of Middlesex (No. 33) (hereinafter referred to as the "**Land Office**") requires the removal of some or all of such photographic reductions of plans and drawings in order for this Agreement to be registered, the parties agree that such any photographic reduced copies required to be removed by the Land Registrar may be removed from the registered copy of this Agreement.

One signature page to follow.

Timberwalk Phase V  
Subdivision Agreement

IN WITNESS WHEREOF the Parties have hereunto affixed their respective corporate seals attested to by the hands of their respective proper officers duly authorized in that behalf.

**SIFTON PROPERTIES LIMITED**

Per: \_\_\_\_\_

Name: Richard M. Sifton

Title: President and CEO

Per: \_\_\_\_\_

Name: Phillip R. Masschelein

Title: Senior Vice-President,  
Neighbourhood Developments

I/We have the authority to bind the corporation

**MUNICIPALITY OF MIDDLESEX CENTRE**

Approved and authorized by By-law  
No. 2023- \_\_\_\_ enacted the \_\_\_\_  
day of August, 2023.

Per: \_\_\_\_\_

Aina DeViet, Mayor

Per: \_\_\_\_\_

James Hutson, Clerk

We have the authority to bind the corporation



**LIST OF SCHEDULES**

Schedule "A" – The Phase V Land

Schedule "B" - The Survey Plan of Phase V

Schedule "C" – Encumbrances

Schedule "D" - Solicitor's Opinion

Schedule "E" – Solicitor's Opinion for Utilities' Easements

Schedule "F" – The Phase V Works

Schedule "G" – Servicing and Grading Construction Plans

Schedule "H" - Undertaking and Agreement by Subdivider's Engineer

Schedule "I" – Homeowner's Package

Schedule "J" - Irrevocable Letter of Credit Format

Schedule "K" - Interim Certificate of Completion of Works

Schedule "L" - Certificate of Completion of Works

Schedule "M" - Asset Inventory

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "A"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under  
the laws of the Province of Ontario having its registered office in  
the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**PHASE V LAND**

Part of Lot 26, Concession 1, designated as Parts 1, 2 and 3 on 33R-21338; Municipality of  
Middlesex Centre; County of Middlesex

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "B"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under  
the laws of the Province of Ontario having its registered office in  
the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

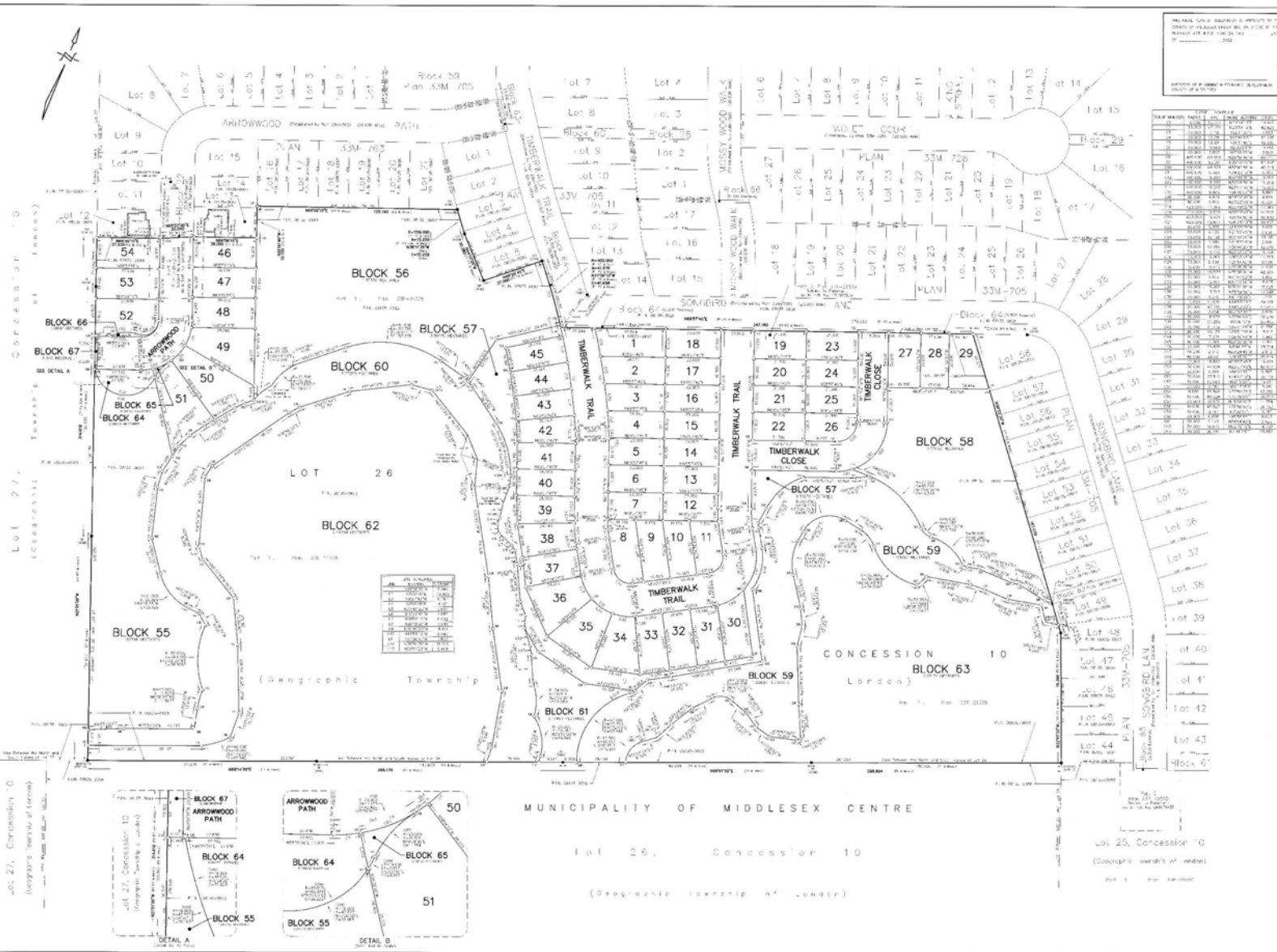
- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**SURVEY PLAN OF THE PHASE V PLAN OF SUBDIVISION**

*See following page.*



**PLAN 33M -**

PROPERTY OF ARCHIBALD, GRAY & MCKAY LTD.  
 1000 SHEPPARD AVENUE EAST, SUITE 100  
 SCARBOROUGH, ONTARIO M1S 1T5  
 TEL: (416) 291-1100  
 FAX: (416) 291-1101  
 WWW.AGM-SURVEY.COM

**PLAN OF SUBDIVISION**  
 OF LOT 26  
**CONCESSION 10**  
 (Geographic Township of London)  
**MUNICIPALITY OF**  
**MIDDLESEX CENTRE**  
**COUNTY OF MIDDLESEX**

2022  
 ARCHIBALD, GRAY & MCKAY LTD.  
 ONTARIO LAND SURVEYORS

**LOT AREA TABLE**

Lot No.	Area (sq. m)	Area (sq. ft.)
1	1000.00	10890.00
2	1000.00	10890.00
3	1000.00	10890.00
4	1000.00	10890.00
5	1000.00	10890.00
6	1000.00	10890.00
7	1000.00	10890.00
8	1000.00	10890.00
9	1000.00	10890.00
10	1000.00	10890.00
11	1000.00	10890.00
12	1000.00	10890.00
13	1000.00	10890.00
14	1000.00	10890.00
15	1000.00	10890.00
16	1000.00	10890.00
17	1000.00	10890.00
18	1000.00	10890.00
19	1000.00	10890.00
20	1000.00	10890.00
21	1000.00	10890.00
22	1000.00	10890.00
23	1000.00	10890.00
24	1000.00	10890.00
25	1000.00	10890.00
26	1000.00	10890.00
27	1000.00	10890.00
28	1000.00	10890.00
29	1000.00	10890.00
30	1000.00	10890.00
31	1000.00	10890.00
32	1000.00	10890.00
33	1000.00	10890.00
34	1000.00	10890.00
35	1000.00	10890.00
36	1000.00	10890.00
37	1000.00	10890.00
38	1000.00	10890.00
39	1000.00	10890.00
40	1000.00	10890.00
41	1000.00	10890.00
42	1000.00	10890.00
43	1000.00	10890.00
44	1000.00	10890.00
45	1000.00	10890.00
46	1000.00	10890.00
47	1000.00	10890.00
48	1000.00	10890.00
49	1000.00	10890.00
50	1000.00	10890.00
51	1000.00	10890.00
52	1000.00	10890.00
53	1000.00	10890.00
54	1000.00	10890.00
55	1000.00	10890.00
56	1000.00	10890.00
57	1000.00	10890.00
58	1000.00	10890.00
59	1000.00	10890.00
60	1000.00	10890.00
61	1000.00	10890.00
62	1000.00	10890.00
63	1000.00	10890.00
64	1000.00	10890.00
65	1000.00	10890.00
66	1000.00	10890.00
67	1000.00	10890.00

**SURVEYOR'S CERTIFICATE**

I, the undersigned, being a duly qualified and licensed land surveyor in the Province of Ontario, do hereby certify that the foregoing plan is a true and correct copy of the original plan as filed in my office and that the same has been compared with the original plan.

*[Signature]*  
 SURVEYOR IN CHARGE

**NOTES AND LEGEND**

1. ALL DIMENSIONS ARE IN METERS AND DECIMALS THEREOF.
2. ALL DIMENSIONS ARE TO CENTERS OF LINES UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAN.
4. ALL DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAN.
5. ALL DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAN.
6. ALL DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAN.
7. ALL DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAN.
8. ALL DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAN.
9. ALL DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAN.
10. ALL DIMENSIONS ARE TO BE TAKEN AS SHOWN ON THIS PLAN.

TOTAL SITE AREA: 16,256.00 Hectares

**OWNER'S CERTIFICATE**

I, the undersigned, being the owner of the land shown on the foregoing plan, do hereby certify that the same is a true and correct copy of the original plan as filed in my office and that the same has been compared with the original plan.

*[Signature]*  
 OWNER

**AGM ARCHIBALD, GRAY & MCKAY LTD.**  
 LAND SURVEYORS & ENGINEERS  
 1000 SHEPPARD AVENUE EAST, SUITE 100  
 SCARBOROUGH, ONTARIO M1S 1T5  
 TEL: (416) 291-1100  
 FAX: (416) 291-1101  
 WWW.AGM-SURVEY.COM

P-653

**SCHEDULE "C"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

B E T W E N:

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**ENCUMBRANCES**

PART 1 PERMITTED ENCUMBRANCES

Any registration in favour of the Municipality of Middlesex Centre or Middlesex County.

PART 2 ENCUMBRANCES TO BE REMOVED OR POSTPONED

- ER1083839 - easement in favour of Hydro One

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE “D”**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

B E T W E N:

SIFTON PROPERTIES LIMITED, a corporation incorporated under  
the laws of the Province of Ontario having its registered office in  
the City of London and the County of Middlesex

(hereinafter referred to as the “**Subdivider**”)

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the “**Municipality**”)

OF THE SECOND PART

**SOLICITOR’S OPINION**

TO: MUNICIPALITY OF MIDDLESEX CENTRE

Re: London Concession 10 Part Lot 26, Registered Plan 33R-19510, Part of Part 3, Municipality  
of Middlesex Centre, County of Middlesex

hereinafter the “**Phase V Land**”

Re: Subdivision Agreement between Sifton Properties Limited and Municipality of Middlesex  
Centre dated the \_\_\_\_ day of August, 2023 pertaining to the Phase V Land (the “**Phase V  
Subdivision Agreement**”)

Re: The Plan of Subdivision registered on the Phase V Land, being Plan 33M-\_\_\_\_\_  
hereinafter the “**Phase V Plan**”

For the sum of one (\$1.00) and other good and valuable consideration I certify that I am a solicitor  
authorized to practice in Ontario and provide my solicitor’s opinion as follows:

**Subdivision Agreement Registration**

As at the date of signing of the Phase V Subdivision Agreement and as of the date of registration  
of the Phase V Subdivision Agreement against the Phase V Land, Sifton Properties Limited is the

Timberwalk Phase V  
Subdivision Agreement

owner in fee simple of the Phase V Land free and clear of all liens and encumbrances save and except for:

Any registration in favour of Municipality of Middlesex Centre

There were no other registered interests having any interest in the Phase V Land as mortgagee, tenant, easement holder or other encumbrancer at the date of registration of the Phase V Subdivision Agreement against the Phase V Land.

[INCLUDE PARTICULARS OF REGISTRATIONS OF ALL POSTPONEMENTS REGISTERED TO PROVIDE THE NECESSARY PRIORITY]

### **Easements transferred to the Municipality**

A good and valid \_\_\_\_\_ Easement over Part of Lots \_\_\_\_\_ on Registered Plan \_\_\_\_\_, designated as Parts \_\_\_\_\_ on Plan 33R-xxxxxx has been registered on the \_\_\_ day of \_\_\_\_\_, 2019 as Instrument No. ER \_\_\_\_\_ in favour of Municipality of Middlesex Centre. It is my solicitor's opinion that Municipality of Middlesex Centre has a good and valid easement on the terms set out in Instrument No. ER \_\_\_\_\_ free and clear of all liens or other registered encumbrances.

A good and valid \_\_\_\_\_ Easement over Part of Lots \_\_\_\_\_ on Registered Plan \_\_\_\_\_, designated as Parts \_\_\_\_\_ on Plan 33R-xxxxxx has been registered on the \_\_\_ day of \_\_\_\_\_, 2019 as Instrument No. ER \_\_\_\_\_ in favour of Municipality of Middlesex Centre. It is my solicitor's opinion that Municipality of Middlesex Centre has a good and valid easement on the terms set out in Instrument No. ER \_\_\_\_\_ free and clear of all liens or other registered encumbrances.

[INCLUDE PARTICULARS OF REGISTRATIONS OF ALL EASEMENTS REQUIRED UNDER PARAGRAPH 30 OF THIS SUBDIVISION AGREEMENT AND ANY POSTPONEMENTS REGISTERED TO PROVIDE THE NECESSARY PRIORITY]

### **Transfers in Fee Simple to the Municipality**

A good and valid Transfer of :

*Insert all transfers in favour of the Municipality*

has been registered on the \_\_\_ day of \_\_\_\_\_, 2019 as Instrument No. ER \_\_\_\_\_ in favour of Municipality of Middlesex Centre.

It is my solicitor's opinion that Municipality of Middlesex Centre is the owner in fee simple of said Blocks XXX through XX inclusive on Registered Plan \_\_\_\_\_, free and clear of all liens and encumbrances save and except any existing registrations in favour of Municipality of Middlesex Centre.

Timberwalk Phase V  
Subdivision Agreement

[INCLUDE PARTICULARS OF REGISTRATIONS OF ALL TRANSFERS REQUIRED UNDER PARAGRAPH 37 AND 38 OF THIS SUBDIVISION AGREEMENT AND ANY POSTPONEMENTS REGISTERED TO PROVIDE THE NECESSARY PRIORITY]

Enclosures:

Copy of receipted Phase V Subdivision Agreement registered as ER \_\_\_\_\_.

Copy of receipted Easement registered as ER \_\_\_\_\_.

Copy of Transfer of Block 22, registered as ER \_\_\_\_\_.



Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "E"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex (hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE (hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**SOLICITOR'S OPINION**

**FOR UTILITIES' EASEMENTS**

**TO:** MUNICIPALITY OF MIDDLESEX CENTRE

**Re:** Subdivision Agreement between Sifton Properties Limited and Municipality of Middlesex Centre dated the \_\_\_\_ day of August, 2023 pertaining to the Phase V Land (the "**Phase V Subdivision Agreement**") being registered plan 33M -

Easements transferred to a Utility

A good and valid \_\_\_\_\_ Easement over Part of Lots \_\_\_\_\_ on Registered Plan \_\_\_\_\_ , designated as Parts \_\_\_\_\_ on Plan 33R-xxxxxx has been registered on the \_\_\_ day of \_\_\_\_\_, 2019 as Instrument No. ER \_\_\_\_\_ in favour of (Name of Utility). It is my solicitor's opinion that of (Name of Utility) has a good and valid easement on the terms set out in Instrument No. ER \_\_\_\_\_ free and clear of all liens or other registered encumbrances save and except any registrations in favour of Municipality of Middlesex Centre.

**SCHEDULE “F”**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex (hereinafter referred to as the “**Subdivider**”)

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE (hereinafter referred to as the “**Municipality**”)

OF THE SECOND PART

**PHASE V WORKS**

**MUNICIPALITY REQUIREMENT FOR SERVICING**

1. All roads and services specified herein shall be designed and constructed in accordance with the plans, drawings and designs approved by the Municipal Engineer in accordance with section 15 of the Phase V Subdivision Agreement to which this Schedule “F” is attached (herein referred to as the “**Servicing Plans**”) and in accordance with current guidelines and standards prescribed by the Municipality.
2. A photo reduced copy of the Grading Plan and all development design drawings are attached as Schedule “G” to the Phase V Subdivision Agreement to which this Schedule “F” is attached. The Servicing Plans, including the Grading Plan are maintained by the Municipality and are available from the Municipality for viewing upon request during the Municipality’s normal business hours.

**GRADING PLAN, GENERAL SERVICING PLAN AND SERVICING CONSTRUCTION PLANS**

3. For the purposes of the Phase V Subdivision Agreement to which this Schedule “F” is attached, including all other Schedules attached to such Phase V Subdivision Agreement, the following form part of such Phase V Subdivision Agreement:
  - 3.1 Title of Plan or Drawing: Master Plan of Services  
For Whom Prepared: Municipality of Middlesex Centre

Timberwalk Phase V  
Subdivision Agreement

- |     |                            |  |
|-----|----------------------------|--|
|     | Author of Plan or Drawing; | development engineering (London) Limited   |
|     | Sealed by:                 | D. J. Hoevenaars   |
|     | Author's Project No.:      | D0007P5  |
|     | Drawing or Sheet Number:   | 1  |
|     | Date of Plan or Drawing:   | March 24, 2021   |
|     | Date of Last Revision:     | October 27, 2022   |
|     | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan<br>33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex<br>County Planning File No.: |
|     |                            | 39T-MC0401   |
| 3.2 | Title of Plan or Drawing:  | Master Plan of Services with Water Distribution  |
|     | For Whom Prepared:         | Municipality of Middlesex Centre   |
|     | Author of Plan or Drawing; | development engineering (London) Limited   |
|     | Sealed by:                 | D. J. Hoevenaars   |
|     | Author's Project No.:      | D0007P5  |
|     | Drawing or Sheet Number:   | 1B   |
|     | Date of Plan or Drawing:   | March 24, 2021   |
|     | Date of Last Revision:     | October 27, 2022   |
|     | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan<br>33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex<br>County Planning File No.: |
|     |                            | 39T-MC0401   |
| 3.3 | Title of Plan or Drawing:  | Storm Sewer Area Plan  |
|     | For Whom Prepared:         | Municipality of Middlesex Centre   |
|     | Author of Plan or Drawing; | development engineering (London) Limited   |
|     | Sealed by:                 | D. J. Hoevenaars   |
|     | Author's Project No.:      | D0007P5  |
|     | Drawing or Sheet Number:   | 2  |
|     | Date of Plan or Drawing:   | March 24, 2021   |
|     | Date of Last Revision:     | October 27, 2022   |
|     | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan<br>33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex<br>County Planning File No.: |
|     |                            | 39T-MC0401   |
| 3.4 | Title of Plan or Drawing:  | Sanitary Sewer Area Plan   |
|     | For Whom Prepared:         | Municipality of Middlesex Centre   |
|     | Author of Plan or Drawing; | development engineering (London) Limited   |
|     | Sealed by:                 | D. J. Hoevenaars   |
|     | Author's Project No.:      | D0007P5  |
|     | Drawing or Sheet Number:   | 3  |
|     | Date of Plan or Drawing:   | March 24, 2021   |
|     | Date of Last Revision:     | October 27, 2022   |
|     | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan  |

Timberwalk Phase V  
Subdivision Agreement

33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401

- 3.5 Title of Plan or Drawing: Third Pipe Store Area Plan + Design Sheet  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; development engineering (London) Limited  
Sealed by: D. J. Hoevenaars  
Author's Project No.: D0007P5  
Drawing or Sheet Number: 4  
Date of Plan or Drawing: March 24, 2021  
Date of Last Revision: October 27, 2022  
Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.6 Title of Plan or Drawing: Storm Design Sheet  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; development engineering (London) Limited  
Sealed by: D. J. Hoevenaars  
Author's Project No.: D0007P5  
Drawing or Sheet Number: 5  
Date of Plan or Drawing: March 24, 2021  
Date of Last Revision: October 27, 2022  
Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.7 Title of Plan or Drawing: Sanitary Design Sheet  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; development engineering (London) Limited  
Sealed by: D. J. Hoevenaars  
Author's Project No.: D0007P5  
Drawing or Sheet Number: 6  
Date of Plan or Drawing: March 24, 2021  
Date of Last Revision: October 27, 2022  
Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.8 Title of Plan or Drawing: Water Distribution Plan  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; development engineering (London) Limited  
Sealed by: D. J. Hoevenaars  
Author's Project No.: D0007P5

Timberwalk Phase V  
Subdivision Agreement

- |      |                            |  |
|------|----------------------------|--|
|      | Drawing or Sheet Number:   | 7  |
|      | Date of Plan or Drawing:   | March 24, 2021   |
|      | Date of Last Revision:     | October 27, 2022   |
|      | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex |
|      | County Planning File No.:  | 39T-MC0401   |
| 3.9  | Title of Plan or Drawing:  | Arrowood Path – From STA 0+180 to Limit of Subdivision (Phase 5)   |
|      | For Whom Prepared:         | Municipality of Middlesex Centre   |
|      | Author of Plan or Drawing; | development engineering (London) Limited   |
|      | Sealed by:                 | D. J. Hoevenaars   |
|      | Author's Project No.:      | D0007P5  |
|      | Drawing or Sheet Number:   | 8  |
|      | Date of Plan or Drawing:   | March 24, 2021   |
|      | Date of Last Revision:     | October 27, 2022   |
|      | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex |
|      | County Planning File No.:  | 39T-MC0401   |
| 3.10 | Title of Plan or Drawing:  | Timberwalk Trail – From Songbird Lane to STA 0+195   |
|      | For Whom Prepared:         | Municipality of Middlesex Centre   |
|      | Author of Plan or Drawing; | development engineering (London) Limited   |
|      | Sealed by:                 | D. J. Hoevenaars   |
|      | Author's Project No.:      | D0007P5  |
|      | Drawing or Sheet Number:   | 9  |
|      | Date of Plan or Drawing:   | March 24, 2021   |
|      | Date of Last Revision:     | October 27, 2022   |
|      | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex |
|      | County Planning File No.:  | 39T-MC0401   |
| 3.11 | Title of Plan or Drawing:  | Timberwalk Trail – From STA 0+165 to Songbird Lane   |
|      | For Whom Prepared:         | Municipality of Middlesex Centre   |
|      | Author of Plan or Drawing; | development engineering (London) Limited   |
|      | Sealed by:                 | D. J. Hoevenaars   |
|      | Author's Project No.:      | D0007P5  |
|      | Drawing or Sheet Number:   | 10   |
|      | Date of Plan or Drawing:   | March 24, 2021   |
|      | Date of Last Revision:     | October 27, 2022   |
|      | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan  |

Timberwalk Phase V  
Subdivision Agreement

- 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.12 Title of Plan or Drawing: Timberwalk Path – From Timberwalk Trail to  
Songbird Lane  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; development engineering (London) Limited  
Sealed by: D. J. Hoevenaars  
Author's Project No.: D0007P5  
Drawing or Sheet Number: 11  
Date of Plan or Drawing: March 24, 2021  
Date of Last Revision: October 27, 2022  
Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.13 Title of Plan or Drawing: CBMH 1 – Lot 4, CBMH 2 – Lot 8, CBMH 3 – Lot 22  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; development engineering (London) Limited  
Sealed by: D. J. Hoevenaars  
Author's Project No.: D0007P5  
Drawing or Sheet Number: 12  
Date of Plan or Drawing: March 24, 2021  
Date of Last Revision: October 27, 2022  
Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.14 Title of Plan or Drawing: Songbird Lane – From Timberwalk Path to 65m East  
of Timberwalk Path, Block 63 – Inlet, Easement – Lots 35 + 36  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; development engineering (London) Limited  
Sealed by: D. J. Hoevenaars  
Author's Project No.: D0007P5  
Drawing or Sheet Number: 13  
Date of Plan or Drawing: March 24, 2021  
Date of Last Revision: October 27, 2022  
Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.15 Title of Plan or Drawing: Lot Grading Plan No. 1  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; development engineering (London) Limited

Timberwalk Phase V  
Subdivision Agreement

- |      |                            |  |
|------|----------------------------|--|
|      | Sealed by:                 | D. J. Hoevenaars   |
|      | Author's Project No.:      | D0007P5  |
|      | Drawing or Sheet Number:   | 14   |
|      | Date of Plan or Drawing:   | March 24, 2021   |
|      | Date of Last Revision:     | October 27, 2022   |
|      | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex |
|      | County Planning File No.:  | 39T-MC0401   |
| 3.16 | Title of Plan or Drawing:  | Lot Grading Plan No. 2   |
|      | For Whom Prepared:         | Municipality of Middlesex Centre   |
|      | Author of Plan or Drawing; | development engineering (London) Limited   |
|      | Sealed by:                 | D. J. Hoevenaars   |
|      | Author's Project No.:      | D0007P5  |
|      | Drawing or Sheet Number:   | 15   |
|      | Date of Plan or Drawing:   | March 24, 2021   |
|      | Date of Last Revision:     | October 27, 2022   |
|      | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex |
|      | County Planning File No.:  | 39T-MC0401   |
| 3.17 | Title of Plan or Drawing:  | Lot Grading Plan No. 3   |
|      | For Whom Prepared:         | Municipality of Middlesex Centre   |
|      | Author of Plan or Drawing; | development engineering (London) Limited   |
|      | Sealed by:                 | D. J. Hoevenaars   |
|      | Author's Project No.:      | D0007P5  |
|      | Drawing or Sheet Number:   | 16   |
|      | Date of Plan or Drawing:   | March 24, 2021   |
|      | Date of Last Revision:     | October 27, 2022   |
|      | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex |
|      | County Planning File No.:  | 39T-MC0401   |
| 3.18 | Title of Plan or Drawing:  | Erosion + Sediment Control Plan  |
|      | For Whom Prepared:         | Municipality of Middlesex Centre   |
|      | Author of Plan or Drawing; | development engineering (London) Limited   |
|      | Sealed by:                 | D. J. Hoevenaars   |
|      | Author's Project No.:      | D0007P5  |
|      | Drawing or Sheet Number:   | 17   |
|      | Date of Plan or Drawing:   | March 24, 2021   |
|      | Date of Last Revision:     | October 27, 2022   |
|      | Legal Description;         | London Concession 10 Part Lot 26, Registered Plan 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex |
|      | County Planning File No.:  | 39T-MC0401   |

Timberwalk Phase V  
Subdivision Agreement

- 3.19 Title of Plan or Drawing: Erosion + Sediment Control Details  
 For Whom Prepared: Municipality of Middlesex Centre  
 Author of Plan or Drawing; development engineering (London) Limited  
 Sealed by: D. J. Hoevenaars  
 Author's Project No.: D0007P5  
 Drawing or Sheet Number: 18  
 Date of Plan or Drawing: March 24, 2021  
 Date of Last Revision: October 27, 2022  
 Legal Description; London Concession 10 Part Lot 26, Registered Plan  
 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
 County Planning File No.: 39T-MC0401
- 3.20 Title of Plan or Drawing: General Construction Notes  
 For Whom Prepared: Municipality of Middlesex Centre  
 Author of Plan or Drawing; development engineering (London) Limited  
 Sealed by: D. J. Hoevenaars  
 Author's Project No.: D0007P5  
 Drawing or Sheet Number: 19  
 Date of Plan or Drawing: March 24, 2021  
 Date of Last Revision: October 27, 2022  
 Legal Description; London Concession 10 Part Lot 26, Registered Plan  
 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
 County Planning File No.: 39T-MC0401
- 3.21 Title of Plan or Drawing: General Construction Details  
 For Whom Prepared: Municipality of Middlesex Centre  
 Author of Plan or Drawing; development engineering (London) Limited  
 Sealed by: D. J. Hoevenaars  
 Author's Project No.: D0007P5  
 Drawing or Sheet Number: 20  
 Date of Plan or Drawing: March 24, 2021  
 Date of Last Revision: October 27, 2022  
 Legal Description; London Concession 10 Part Lot 26, Registered Plan  
 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
 County Planning File No.: 39T-MC0401
- 3.22 Title of Plan or Drawing: Tactile Plate Details  
 For Whom Prepared: Municipality of Middlesex Centre  
 Author of Plan or Drawing; development engineering (London) Limited  
 Sealed by: D. J. Hoevenaars  
 Author's Project No.: D0007P5  
 Drawing or Sheet Number: 21  
 Date of Plan or Drawing: March 24, 2021  
 Date of Last Revision: October 27, 2022



Timberwalk Phase V  
Subdivision Agreement

- Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.23 Title of Plan or Drawing: Proposed Surface Features  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; development engineering (London) Limited  
Sealed by: D. J. Hoevenaars  
Author's Project No.: D0007P5  
Drawing or Sheet Number: 22  
Date of Plan or Drawing: March 24, 2021  
Date of Last Revision: October 27, 2022  
Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.24 Title of Plan or Drawing: Electrical Schedules, Legends, Details & Specs  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; Callidus Engineering  
Sealed by: Z. Abdulla  
Author's Project No.: CE-5378  
Drawing or Sheet Number: E1 of 5  
Date of Plan or Drawing: May 30, 2022  
Date of Last Revision: September 16, 2022  
Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.25 Title of Plan or Drawing: Arrowood Path Street Lighting Layout  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; Callidus Engineering  
Sealed by: Z. Abdulla  
Author's Project No.: CE-5378  
Drawing or Sheet Number: E2 of 5  
Date of Plan or Drawing: May 30, 2022  
Date of Last Revision: September 16, 2022  
Legal Description; London Concession 10 Part Lot 26, Registered Plan  
33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
County Planning File No.: 39T-MC0401
- 3.26 Title of Plan or Drawing: Timberwalk Trail Street Lighting Layout  
For Whom Prepared: Municipality of Middlesex Centre  
Author of Plan or Drawing; Callidus Engineering  
Sealed by: Z. Abdulla

Timberwalk Phase V  
Subdivision Agreement

Author's Project No.: CE-5378  
 Drawing or Sheet Number: E3 of 5  
 Date of Plan or Drawing: May 30, 2022  
 Date of Last Revision: September 16, 2022  
 Legal Description; London Concession 10 Part Lot 26, Registered Plan  
 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
 County Planning File No.: 39T-MC0401

3.27 Title of Plan or Drawing: Timberwalk Trail Street Lighting Layout  
 For Whom Prepared: Municipality of Middlesex Centre  
 Author of Plan or Drawing; Callidus Engineering  
 Sealed by: Z. Abdulla  
 Author's Project No.: CE-5378  
 Drawing or Sheet Number: E4 of 5  
 Date of Plan or Drawing: May 30, 2022  
 Date of Last Revision: September 16, 2022  
 Legal Description; London Concession 10 Part Lot 26, Registered Plan  
 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
 County Planning File No.: 39T-MC0401

3.28 Title of Plan or Drawing: Timberwalk Path Street Lighting Layout  
 For Whom Prepared: Municipality of Middlesex Centre  
 Author of Plan or Drawing; Callidus Engineering  
 Sealed by: Z. Abdulla  
 Author's Project No.: CE-5378  
 Drawing or Sheet Number: E5 of 5  
 Date of Plan or Drawing: May 30, 2022  
 Date of Last Revision: September 16, 2022  
 Legal Description; London Concession 10 Part Lot 26, Registered Plan  
 33R-19510, Part of Part 3, Municipality of Middlesex Centre, County of Middlesex  
 County Planning File No.: 39T-MC0401

#### **RELIANCE ON SERVICING PLANS**

4. The Subdivider acknowledges and agrees that:
- 4.1 the Servicing Plans may be reproduced for attachment to the said Subdivision Agreement to which this Schedule "F" is attached;
  - 4.2 the Servicing Plans have been and may continue to be relied upon by the Municipality of Middlesex Centre, The Corporation of the County of Middlesex, the Conservation Authority and Her Majesty the Queen in right of the Province of Ontario as represented by the Ministry of the Environment, Conservation and Parks, in the normal course of their duties in connection with the approvals and permitting processes for the Phase V Works; and

- 4.3 the Servicing Plans may be used as a record representing what was installed at the time of development by any person who deals with the Phase V Land after the said Subdivision Agreement has been registered on the title to the Phase V Land and who obtains access to the Servicing Plans from the Land Office or from the offices of the Municipality.

#### **PLANS AND DRAWINGS LISTED IN SCHEDULE "F"**

5. The approval of the Servicing Plans, including the Grading Plan and the general specifications in this Schedule "F", shall in no way be construed as limiting or in any restricting the discretion given to the Municipal Engineer to approve or amend the final materials submitted by the Subdivider for such purposes nor as limiting or restricting the discretion given the MECP or the Conservation Authority with respect to the approvals required of them in connection with the Phase V Works to be constructed, installed, maintained and repaired by the Subdivider in accordance herewith.

#### **ROADWAYS**

6. The Subdivider shall construct and install roadways with granular base and asphalt pavement and concrete curb and gutter in accordance with the current specifications prescribed by the Municipality. The width of (gutter lines) or all streets within the Phase V Plan except for dead end streets (cul-de-sacs) shall not be less than twenty-eight (28') feet in perpendicular width, all as and where indicated on the Servicing Plans and as otherwise required by the Municipal Engineer. Municipal standards are to serve as a minimum; however, road designs as prepared by the Subdivider's Geotechnical Engineer exceeding these standards shall be acceptable to the Municipality.

#### **STREET SIGNS AND TRAFFIC SIGNS**

7. The Subdivider shall provide street signs and traffic signs at every road intersection as shown on the Phase V Plan. Street signs shall have double name plates. The type and method of installation shall be in accordance with specifications of the Municipality and as otherwise required by the Municipal Engineer.

#### **STORM SEWERS**

8. The Subdivider shall install storm sewers, with appurtenances, catch basins and leads sufficient to drain the Phase V Land properly and to drain abutting real property as required by the Municipal Engineer; and the following provisions shall apply to the storm sewer works:
  - 8.1 The Subdivider shall provide connections for any future storm sewers as may be required by the Municipal Engineer;
  - 8.2 For the purpose of any drainage work that in the opinion of the Municipal Engineer is or may be required to furnish sufficient outlet for storm water or to protect any natural watercourse, the Subdivider shall provide the Municipality with all

easements across the Phase V Land as provided in the Subdivision Agreement to which this Schedule "F" is attached;

- 8.3 Stormwater drainage shall be managed in a manner acceptable to and approved by the MECP, the Conservation Authority and the Municipality;
- 8.4 Accompanied with the Interim Completion Certificate shall be a storm sewer video inspection report and video cassette/disk for all storm sewers; and
- 8.5 If deemed necessary by the Municipal Engineer, storm sewer flushing and/or cleaning and further video inspection shall be undertaken.

### **WATERMAINS**

- 9. Subdivider shall construct and install watermains and appurtenances including valves and valve chambers and also service connections from such watermains to each lot line generally as proposed in the Servicing Plans and specifically as required by the Municipal Engineer. In connection with such water works, the following provisions apply:
  - 9.1 All watermain testing and procedures for testing of chlorine residual and pressure tests shall be witnessed by the Municipal Operating Authority (presently the Municipality's Department of Public Works and Engineering).
  - 9.2 The Subdivider shall reimburse the Municipality for all related costs.
  - 9.3 No connection of any water works may be made to pre-existing Municipal water distribution systems without the prior approval of the Municipal Engineer which approval shall not be given unless and until
    - 9.3.1 the Subdivider's Engineers have submitted to both the Municipality and to the Municipal Engineer a certification report to the effect that all new water mains and services have been tested in accordance with current Municipality and MECP Standards;
    - 9.3.2 the Subdivider's Engineers have submitted to both the Municipality and to the Municipal Engineer a certification report to the effect that all new water mains and services have been disinfected and that chlorine residuals are all in accordance with current Municipality and MECP Standards. Such certification is to be accompanied by bacteria and chlorine residual test results from a qualified laboratory which are satisfactory to the Municipal Engineer.

### **FIRE HYDRANTS**

- 10. The Subdivider shall construct, install and locate fire hydrants generally as proposed in the Servicing Plans and specifically as required by the Municipal Engineer in accordance

with the Municipality's standards. The Subdivider shall undertake inspection of the fire hydrants to ensure service of such with all costs, including third party costs, being at the expense of the Subdivider.

### **SANITARY SEWERS**

11. The Subdivider shall undertake the Phase V Works necessary, in the opinion of the Municipal Engineer, to provide a sanitary sewer system, including private service connections to each lot as shown on the Phase V Plan, generally as proposed in the Servicing Plans and specifically as required by the Municipal Engineer, all in accordance with the plans and specifications approved by the Municipal Engineer and the MECP. In connection with the sanitary sewer work, the following provisions apply:
  - 11.1 The Subdivider shall provide connections for any future sanitary sewers as may be required by the Municipal Engineer.
  - 11.2 Accompanying the Interim Certificate shall be a sewer video inspection report and video cassette/disk for all sanitary sewers.
  - 11.3 If deemed necessary by the Municipal Engineer sewer flushing and/or cleaning and further video inspection shall be undertaken.

### **GRADING**

12. All roads, lots and blocks as shown on the Phase V Plan shall be graded to permit surface water to run off from all areas and from adjoining properties so as to reach either the road gutters, municipal drains, ditches or natural water courses all in accordance with the plans to be submitted by the Subdivider and approved by the Municipality, the MECP and the Conservation Authority.

### **ROAD ALLOWANCE LANDSCAPING**

13. The Subdivider shall topsoil, to a depth of at least 15 centimetres (6.0 inches), and seed or sod the portion of the road allowance lying between the lot line of a lot and the curb, and plant a native (2" in diameter) tree or a tree of equivalent standard and found acceptable by the Municipal Engineer on the said road allowance and also shall construct the portion of the driveway from the curb to the lot line of each lot to the specifications of the Municipality. The Subdivider shall ensure that this work is done to the satisfaction of the Municipal Engineer after completion of the Phase V Works and of residential construction on the Phase V Land.

### **UNOPENED ROAD ALLOWANCE LANDSCAPING**

14. The Subdivider shall topsoil, to a depth of at least 10 centimetres (4.0 inches), and seed or sod and erect such barriers in accordance with the approved servicing drawings at all of the road allowances which are not to be assumed by the Municipality as part of the Phase V Works.

### **STREET LIGHTING**

15. The Subdivider shall construct and install streetlights in accordance with the Municipality's Infrastructure Design Standards, generally as proposed in the Servicing Plans including the photometric plan and specifically as required or permitted by the Municipal Engineer.

### **STORMWATER MANAGEMENT PLAN**

16. The Subdivider shall satisfy the requirements of section 18 of the Subdivision Agreement to which this Schedule "F" is attached.

### **UTILITIES**

17. The Subdivider shall arrange to have Hydro One, Union Gas, Bell Canada, Rogers, Execulink or such other telephone and telecommunication service provider as may be designated by the Municipality the locally authorized TV cable operation and such other utility companies as the Municipality may designate to design and install, all necessary electrical, telephone, fuel, communication and other utilities or service distribution systems, which systems are to be installed in accordance with section 31 of the Subdivision Agreement to which this Schedule "F" is attached.

### **WATER SPRINGS**

18. If at any course of time during the installation, construction and maintenance of the Phase V Works, surface or subsurface water springs are discovered within the Phase V Land, they are to be protected to the satisfaction of the Conservation Authority and the Ministry of Northern Development, Mines, Natural Resources and Forestry.

### **SIDEWALKS**

19. The Subdivider shall construct and install sidewalks to the Municipality's minimum standards with regard to sidewalk requirements, generally as proposed in the Servicing Plans and to the satisfaction of the Municipal Engineer.

### **FENCING**

20. The Subdivider shall construct and install fencing in accordance with the Municipality's Infrastructure Design Standards, generally as proposed in the Phase V Design Drawings and specifically as required and/or permitted by the Municipal Engineer all of which shall be subject to the following provisions:
  - 20.1 Within a period of nine (9) months following the issuance of the Interim Completion Certificate, the Subdivider shall construct and install a 1.5 metre high, black chain link fence without gates inside the boundary of the rear yards adjacent to the open space and/or parkland and/or natural areas as shown on the Phase 5 Plan as shown on the Phase 5 design drawings. The location of the fencing shall be offset a minimum of 50 mm from the property lot line;

- 20.2 A restrictive covenant preventing the removal of the fence referred to in section 20.1 above by subsequent property owners shall be registered on title on all lots which abut park and/or open space lands in Phase V and the Subdivider shall provide notice of the restrictive covenant to first occupants of Lots 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 50, 51 and Blocks 55 and 56 in the Homeowner Package required by section 19 of this Agreement to which this Schedule "F" is attached;
- 20.3 The installation or construction by owners of lots abutting open space and/or park lands in Phase V of "double fencing" immediately beside the fence referred to in section 20.1 being along the park and/or open space areas is prohibited; any other type of fencing may be permitted if such fence is otherwise open fencing and compliant with the Middlesex Centre Fence By-law No. 2016-078 as may be amended or replaced from time to time;

A restrictive covenant preventing the installation or construction of "double fencing" as prohibited in section 20.3 shall be registered on title on all lots or the block that abuts the west boundary of the subdivision of the Phase V Land and the Subdivider shall provide notice of this restrictive covenant to first occupants of such lots and block in the Homeowner Package required by section 19 of this Agreement to which this Schedule "F" is attached.

#### **MULTI-USE PATHWAY (TRAIL)**

The Subdivider shall construct and install to the satisfaction of the Municipality a parkland trail with a minimum width of 1.8 metres (6 feet) along the length of Blocks 57 and 58 as shown on the Phase V Timberwalk Plans. The Subdivider shall install the fencing in accordance with section 20 above along the boundaries of the above-noted multi-use pathway to the satisfaction Municipal Engineer and in accordance with the Municipality's Infrastructure Design Standards. The Subdivider shall also install bollards from the intersecting sidewalk to the multi-use pathway (trail) to control access at the connection point with Street A as shown on the Phase V Plan in a location to the satisfaction of the Municipal Engineer. The Municipality agrees that the costs associated with the multi-use pathway may be considered in the Municipality's next Development Charges Update Study allowing the costs associated with the construction of the trail to be recoverable under the Municipality's development charges reserve fund.

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "G"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under  
the laws of the Province of Ontario having its registered office in  
the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**DESIGN DRAWINGS / PLANS**

To facilitate registration of the Subdivision Agreement to which this Schedule "G" is attached, including all other Schedules attached to such Phase V Subdivision Agreement, the following photo reduced copies of the Servicing Plans are provided in this Schedule "G". Full-scale originals of such plans and drawings are maintained by the Municipality and are available from the Municipality for viewing upon request during the Municipality's normal business hours. In the event that the Land Registrar requires the removal of some or all of the following photo reduced copies of the plans and drawings in order for the Phase V Subdivision Agreement to be registered, the parties agree that such any photo reduced copies required to be removed by the Land Registrar may be removed from the registered copy of the Phase V Subdivision Agreement.

Drawings starting on following page.

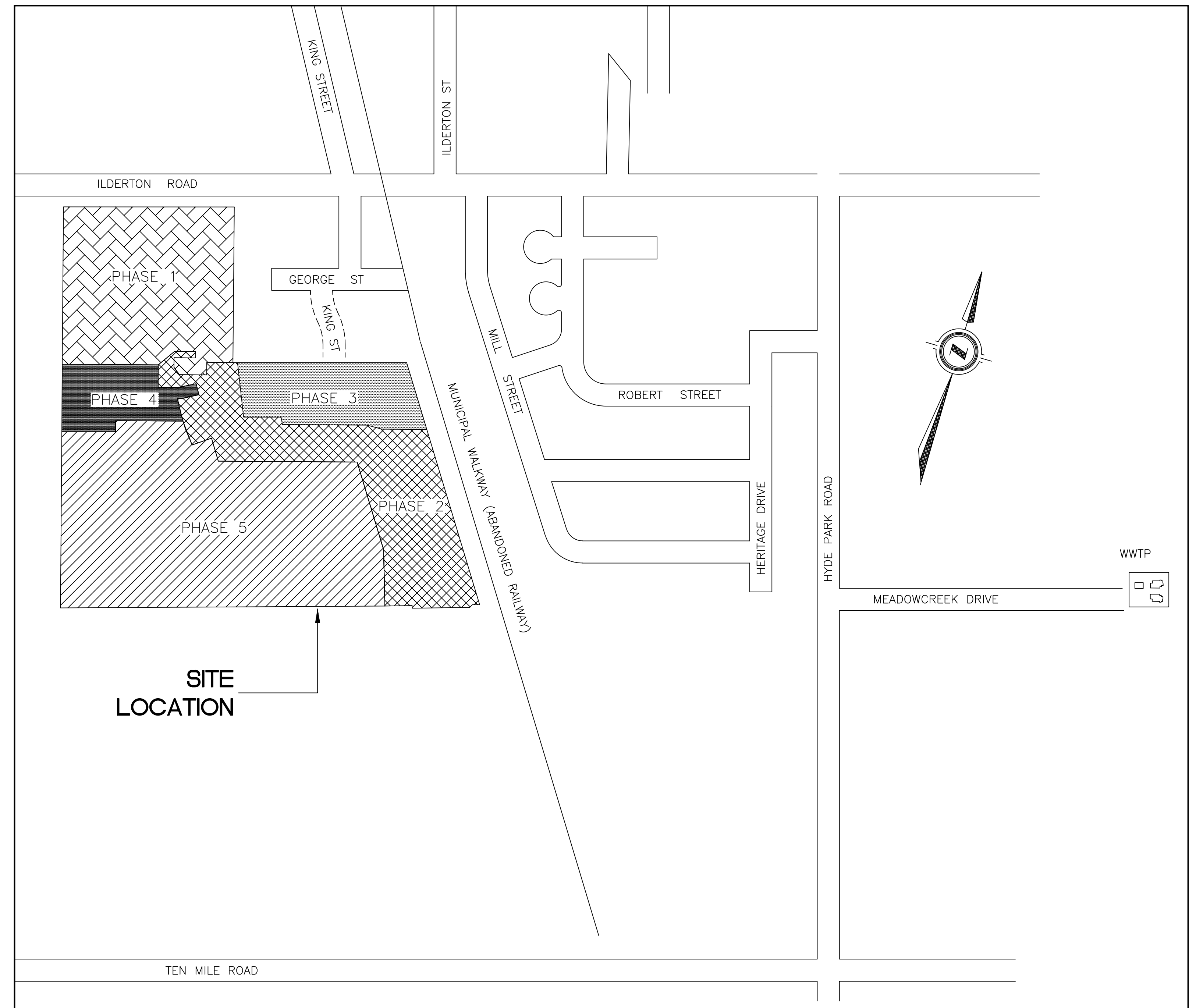


# TIMBERWALK SUBDIVISION - PHASE 5

VILLAGE OF ILBERTON  
 MUNICIPALITY OF MIDDLESEX CENTRE  
 COUNTY OF MIDDLESEX

## LIST OF DRAWINGS

1	MASTER PLAN OF SERVICES
1B	MASTER PLAN OF SERVICES WITH WATER DISTRIBUTION
2	STORM SEWER AREA PLAN
3	SANITARY SEWER AREA PLAN
4	THIRD PIPE STORM AREA PLAN + DESIGN SHEET
5	STORM DESIGN SHEET
6	SANITARY DESIGN SHEET
7	WATER DISTRIBUTION PLAN
8	ARROWWOOD PATH - FROM STA. 0+180 TO LIMIT OF SUBDIVISION (PHASE 5)
9	TIMBERWALK TRAIL - FROM SONGBIRD LANE TO STA 0+195
10	TIMBERWALK TRAIL - FROM STA 0+165 TO SONGBIRD LANE
11	TIMBERWALK PATH - FROM TIMBERWALK TRAIL TO SONGBIRD LANE
12	CBMH 1 - LOT 4, CBMH 2 - LOT 8, CBMH 3 - LOT 22
13	SONGBIRD LANE - FROM TIMBERWALK PATH TO 65m EAST OF TIMBERWALK PATH, BLOCK 63 - INLET, EASEMENT - LOTS 35 + 36
14	LOT GRADING PLAN No. 1
15	LOT GRADING PLAN No. 2
16	LOT GRADING PLAN No. 3
17	EROSION + SEDIMENT CONTROL PLAN
18	EROSION + SEDIMENT CONTROL DETAILS
19	GENERAL CONSTRUCTION NOTES
20	GENERAL CONSTRUCTION DETAILS
21	TACTILE PLATE DETAILS
22	PROPOSED SURFACE FEATURES
	TREE PLANTING PLAN
	ILLUMINATION PLAN



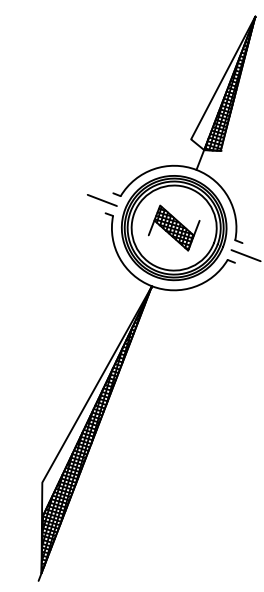
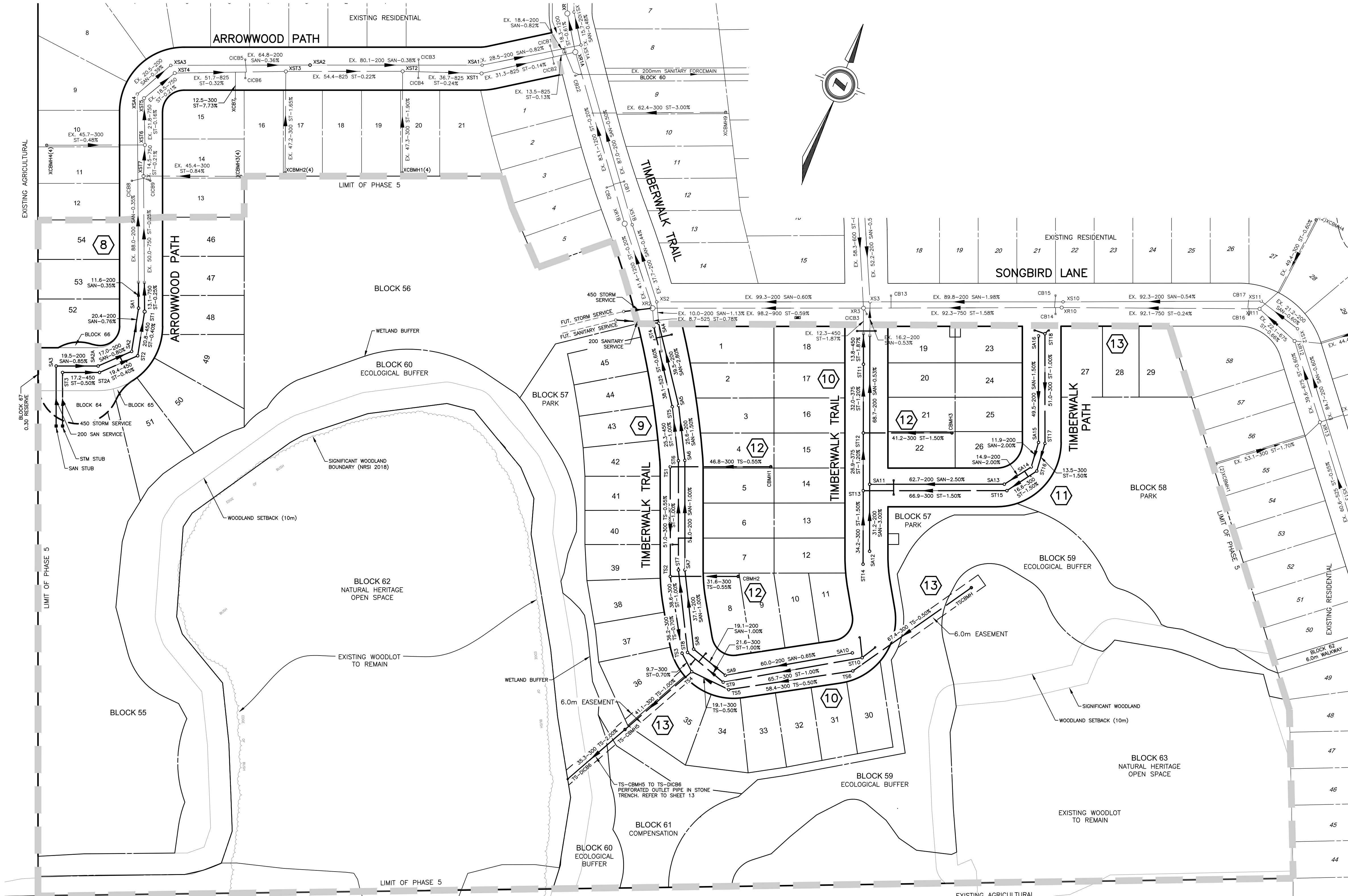
LOCATION PLAN  
 1:5,000



London Office  
 41 Adelaide St. N., Unit 71  
 (519) 672-8310

Paris Office  
 31 Mechanic St., Unit 301  
 (519) 442-1441





- LEGEND**
- 20.0-300 ST-1.0% DENOTES PROPOSED STORM PIPE AND FLOW DIRECTION
  - 20.0-200 SAN-1.0% DENOTES PROPOSED SANITARY PIPE & FLOW DIRECTION
  - R4 DENOTES PROPOSED SANITARY MANHOLE & DESIGNATION
  - S4 DENOTES PROPOSED STORM MANHOLE & DESIGNATION
  - CB DENOTES PROPOSED CATCHBASIN
  - CBIC DENOTES PROPOSED CURB INLET CATCHBASIN
  - DCB DENOTES PROPOSED DOUBLE CATCHBASIN
  - RYCB DENOTES PROPOSED REAR YARD CATCHBASIN
  - EX. CB DENOTES EXISTING CATCHBASIN
  - EX. CBMH DENOTES EXISTING CATCHBASIN MANHOLE
  - EX. STMH DENOTES EXISTING STORM MANHOLE
  - EX. 300# ST DENOTES EXISTING STORM PIPE AND FLOW DIRECTION
  - EX. SAN MH DENOTES EXISTING SANITARY MANHOLE
  - EX. 200# SAN DENOTES EXISTING SANITARY PIPE AND FLOW DIRECTION
  - LIMIT OF PHASE 5
  - 6 DENOTES SHEET NUMBER OF PLAN AND/OR PROFILE DRAWING
- REFERENCE SHEET 7 FOR WATER DISTRIBUTION WORKS

D:\007P5-AREA PLANS.dwg



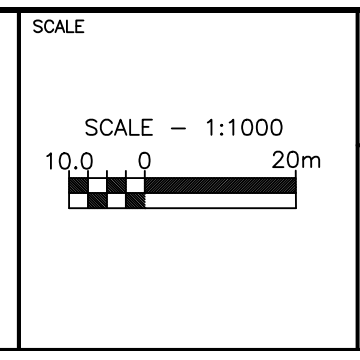
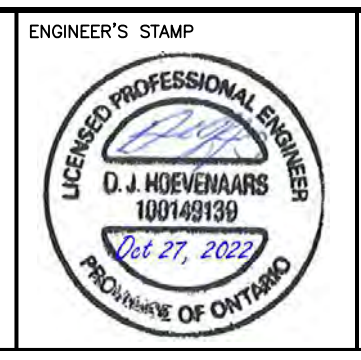
EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG
						7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG
						8	ISSUED FOR SIXTH SUBMISSION	SEP. 09/22	DEVENG
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

CONSULTANT OR DIVISION

London Office  
41 Adelaide St. N., Unit 71  
(519) 672-5310

Paris Office  
31 Mechanic St., Unit 301  
(519) 442-1441

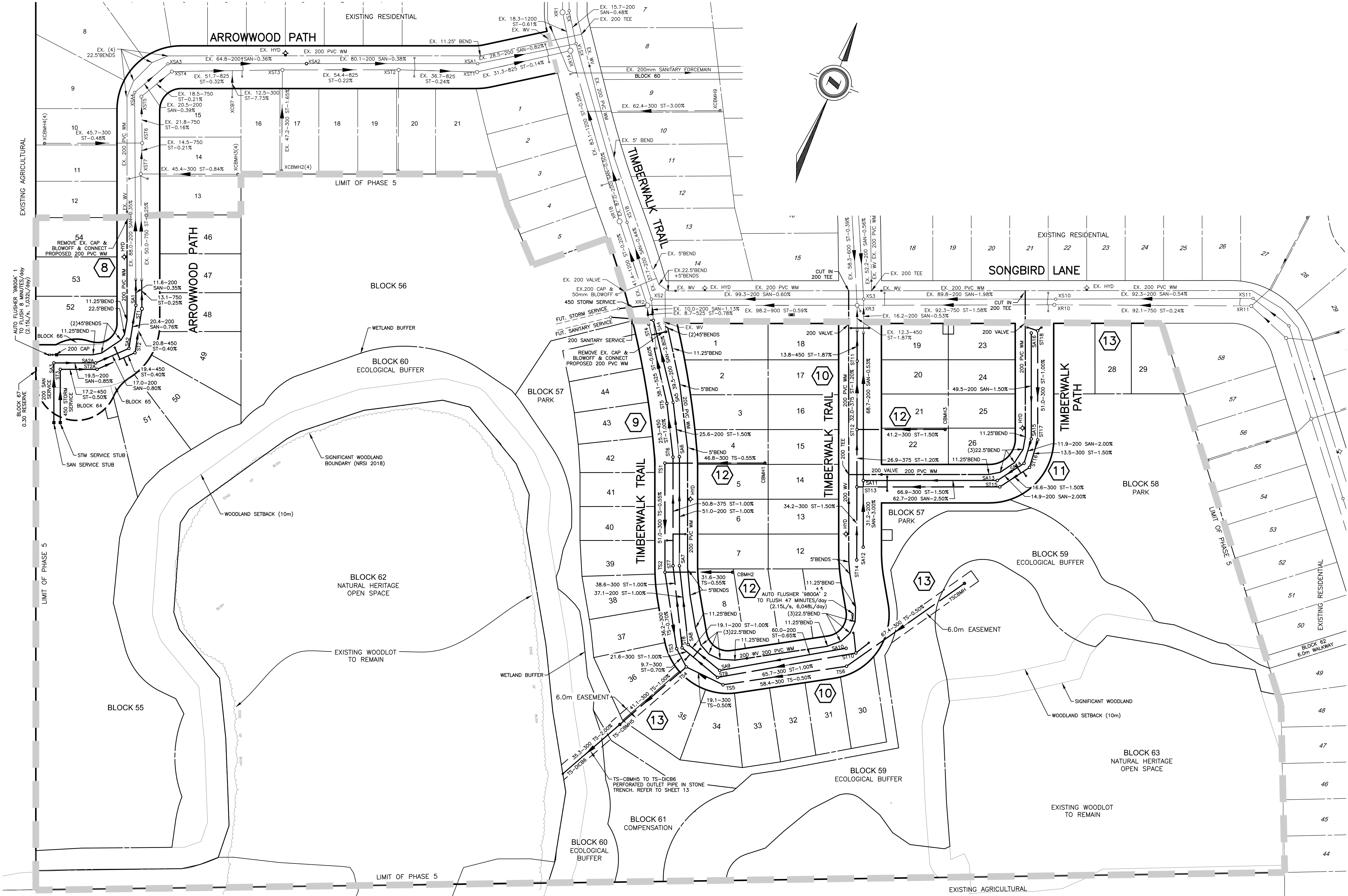
**development engineering**  
(London) Limited  
CONSULTING CIVIL ENGINEERS



TITLE **TIMBERWALK SUBDIVISION - PHASE 5**  
ILDERTON ONTARIO  
SIFTON PROPERTIES LIMITED

**MASTER PLAN OF SERVICES**

PROJECT No.	D0007P5
SHEET No.	1
PLAN FILE No.	



- LEGEND**
- 20.0-300 ST-1.0% DENOTES PROPOSED STORM PIPE AND FLOW DIRECTION
  - 20.0-200 SAN-1.0% DENOTES PROPOSED SANITARY PIPE & FLOW DIRECTION
  - R4 DENOTES PROPOSED SANITARY MANHOLE & DESIGNATION
  - S4 DENOTES PROPOSED STORM MANHOLE & DESIGNATION
  - cb DENOTES PROPOSED CATCHBASIN
  - ocb DENOTES PROPOSED CURB INLET CATCHBASIN
  - dcb DENOTES PROPOSED DOUBLE CATCHBASIN
  - RYCB DENOTES PROPOSED REAR YARD CATCHBASIN
  - EX. CB DENOTES EXISTING CATCHBASIN
  - EX. CBMH DENOTES EXISTING CATCHBASIN MANHOLE
  - EX. STMH DENOTES EXISTING STORM MANHOLE
  - EX. 300# ST DENOTES EXISTING STORM PIPE AND FLOW DIRECTION
  - EX. SAN MH DENOTES EXISTING SANITARY MANHOLE
  - EX. 200# SAN DENOTES EXISTING SANITARY PIPE AND FLOW DIRECTION
  - LIMIT OF PHASE 5 DENOTES LIMIT OF PHASE 5
  - 6 DENOTES SHEET NUMBER OF PLAN AND/OR PROFILE DRAWING
  - DENOTES PROPOSED WATERMAIN
  - FH DENOTES PROPOSED FIRE HYDRANT
  - VALVE DENOTES PROPOSED VALVE
  - DENOTES PROPOSED VALVE, CAP AND BLOW OFF

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EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG
						7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG
						8	ISSUED FOR SIXTH SUBMISSION	SEP. 09/22	DEVENG
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

CONSULTANT OR DIVISION

London Office  
41 Adelaide St. N., Unit 71  
(519) 672-5310

Paris Office  
31 Mechanic St., Unit 301  
(519) 442-1441

**development engineering**  
(London) Limited  
CONSULTING CIVIL ENGINEERS

ENGINEER'S STAMP

LICENSED PROFESSIONAL ENGINEER  
D.J. HOEVENAARS  
100148190  
OCT 27, 2022  
PROVINCE OF ONTARIO

**middlesex centre**  
in the centre of it all

SCALE

SCALE - 1:1000

10.0 0 20.0

TITLE

TIMBERWALK SUBDIVISION - PHASE 5  
ILDERTON ONTARIO  
SIFTON PROPERTIES LIMITED

**MASTER PLAN OF SERVICES  
WITH WATER DISTRIBUTION**

PROJECT No.  
D0007P5

SHEET No.  
1B

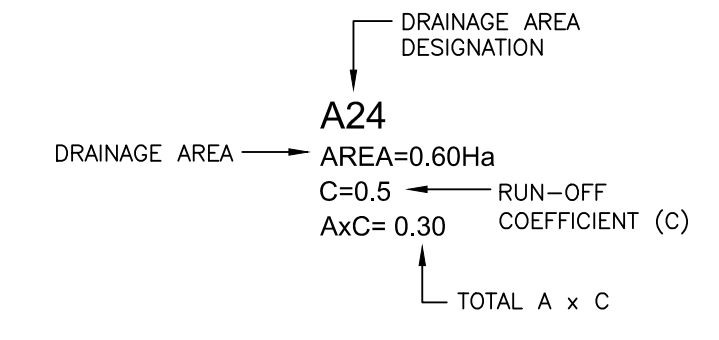
PLAN FILE No.

**middlesex centre**  
in the centre of it all

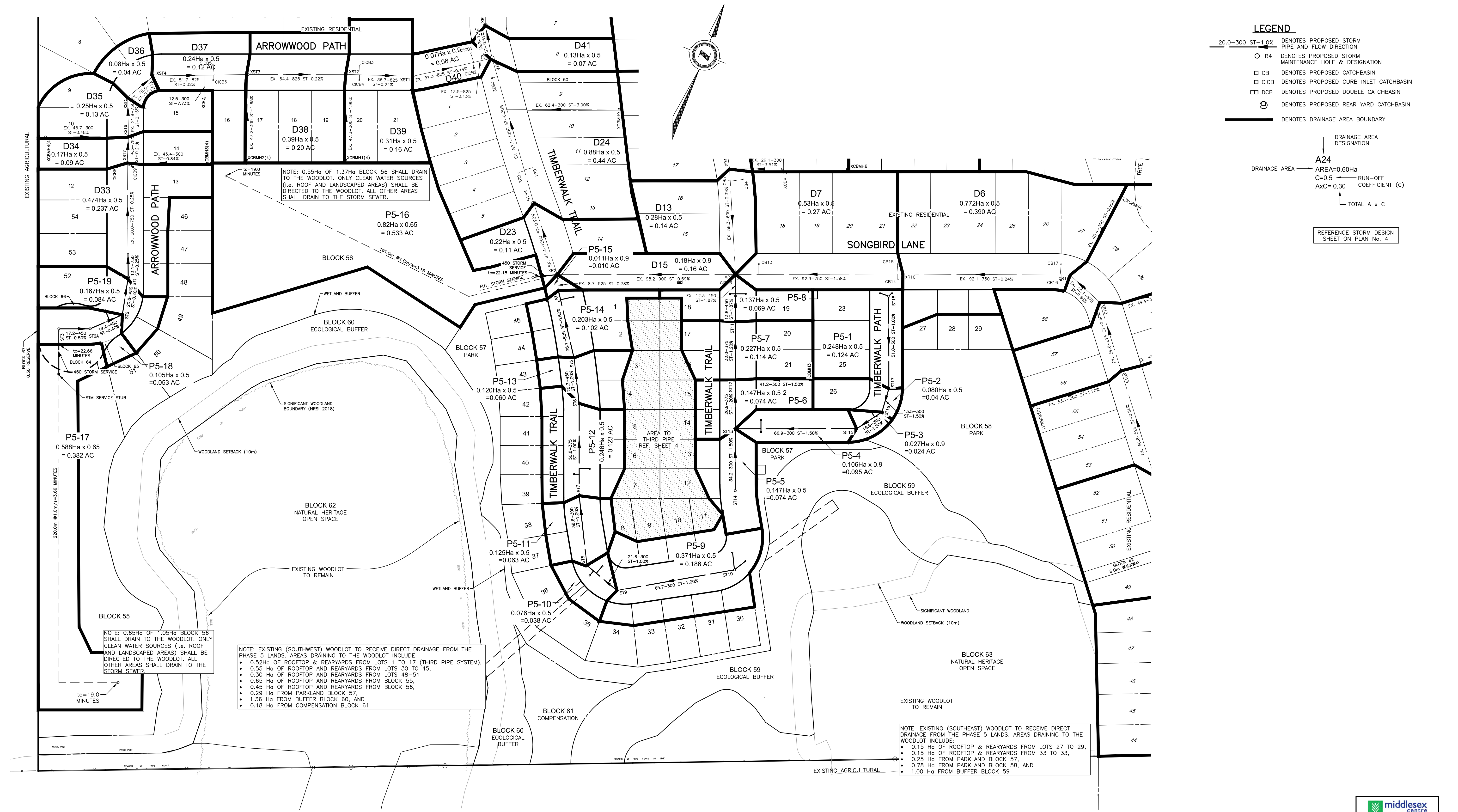
ACCEPTED  
October 28, 2022

**LEGEND**

- 20.0-300 ST-1.0% DENOTES PROPOSED STORM PIPE AND FLOW DIRECTION
- R4 DENOTES PROPOSED STORM MAINTENANCE HOLE & DESIGNATION
- CB DENOTES PROPOSED CATCHBASIN
- CICB DENOTES PROPOSED CURB INLET CATCHBASIN
- DCB DENOTES PROPOSED DOUBLE CATCHBASIN
- ⊙ DENOTES PROPOSED REAR YARD CATCHBASIN
- DENOTES DRAINAGE AREA BOUNDARY



REFERENCE STORM DESIGN SHEET ON PLAN No. 4



NOTE: 0.65Ha OF 1.05Ha BLOCK 56 SHALL DRAIN TO THE WOODLOT. ONLY CLEAN WATER SOURCES (i.e. ROOF AND LANDSCAPED AREAS) SHALL BE DIRECTED TO THE WOODLOT. ALL OTHER AREAS SHALL DRAIN TO THE STORM SEWER.

NOTE: EXISTING (SOUTHWEST) WOODLOT TO RECEIVE DIRECT DRAINAGE FROM THE PHASE 5 LANDS. AREAS DRAINING TO THE WOODLOT INCLUDE:

- 0.52Ha OF ROOFTOP & REARYARDS FROM LOTS 1 TO 17 (THIRD PIPE SYSTEM),
- 0.55 Ha OF ROOFTOP AND REARYARDS FROM LOTS 30 TO 45,
- 0.30 Ha OF ROOFTOP AND REARYARDS FROM LOTS 48-51,
- 0.65 Ha OF ROOFTOP AND REARYARDS FROM BLOCK 55,
- 0.45 Ha OF ROOFTOP AND REARYARDS FROM BLOCK 56,
- 0.29 Ha FROM PARKLAND BLOCK 57,
- 1.36 Ha FROM BUFFER BLOCK 60, AND
- 0.18 Ha FROM COMPENSATION BLOCK 61

NOTE: EXISTING (SOUTHEAST) WOODLOT TO RECEIVE DIRECT DRAINAGE FROM THE PHASE 5 LANDS. AREAS DRAINING TO THE WOODLOT INCLUDE:

- 0.15 Ha OF ROOFTOP & REARYARDS FROM LOTS 27 TO 29,
- 0.15 Ha OF ROOFTOP & REARYARDS FROM LOTS 33 TO 33,
- 0.25 Ha FROM PARKLAND BLOCK 57,
- 0.78 Ha FROM PARKLAND BLOCK 58, AND
- 1.00 Ha FROM BUFFER BLOCK 59

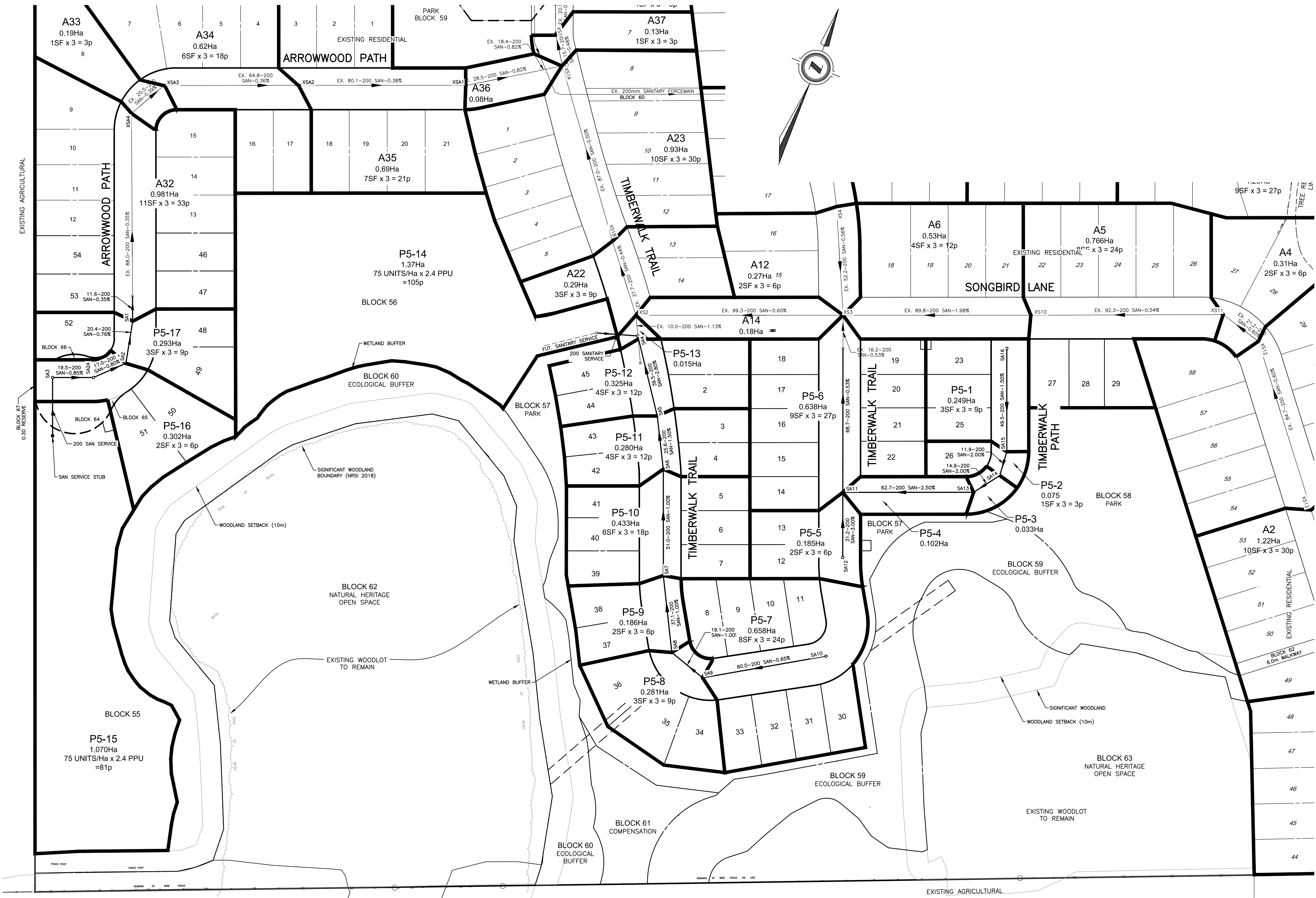


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EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG
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						8	ISSUED FOR SIXTH SUBMISSION	SEP. 09/22	DEVENG
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

CONSULTANT OR DIVISION	ENGINEER'S STAMP	SCALE	TITLE	PROJECT No.
London Office 41 Adelaide St. N., Unit 71 (519) 672-5310		SCALE - 1:1000 10.0 0 20m	TIMBERWALK SUBDIVISION - PHASE 5 ILDERTON ONTARIO SIFTON PROPERTIES LIMITED	D0007P5
Paris Office 31 Mechanic St., Unit 301 (519) 442-1441			STORM SEWER AREA PLAN	SHEET No. 2
development engineering (London) Limited CONSULTING CIVIL ENGINEERS				PLAN FILE No.



**LEGEND**

20.0-200 SAN-1.0% DENOTES PROPOSED SANITARY PIPE & FLOW DIRECTION

○ S4 DENOTES PROPOSED SANITARY MAINTENANCE HOLE & DESIGNATION

— DENOTES DRAINAGE AREA BOUNDARY

— DRAINAGE AREA DESIGNATION

A16  
 AREA=0.50Ha  
 8(SF)x3  
 =24p  
 — DRAINAGE AREA  
 — TOTAL POPULATION

REFERENCE SANITARY DESIGN SHEET ON PLAN No. 5

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EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
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						8	ISSUED FOR SIXTH SUBMISSION	SEP. 09/22	DEVENG
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

CONSULTANT OR DIVISION

London Office  
 41 Adelaide St. N., Unit 71  
 (519) 672-8310

Paris Office  
 31 Mechanic St., Unit 301  
 (519) 442-1441

**development engineering**  
 (London) Limited  
 CONSULTING CIVIL ENGINEERS



SCALE

SCALE - 1:1000

10.0 0 20m

TITLE

TIMBERWALK SUBDIVISION - PHASE 5  
 ILBERTON ONTARIO  
 SIFTON PROPERTIES LIMITED

SANITARY SEWER AREA PLAN

PROJECT No.  
 D0007P5

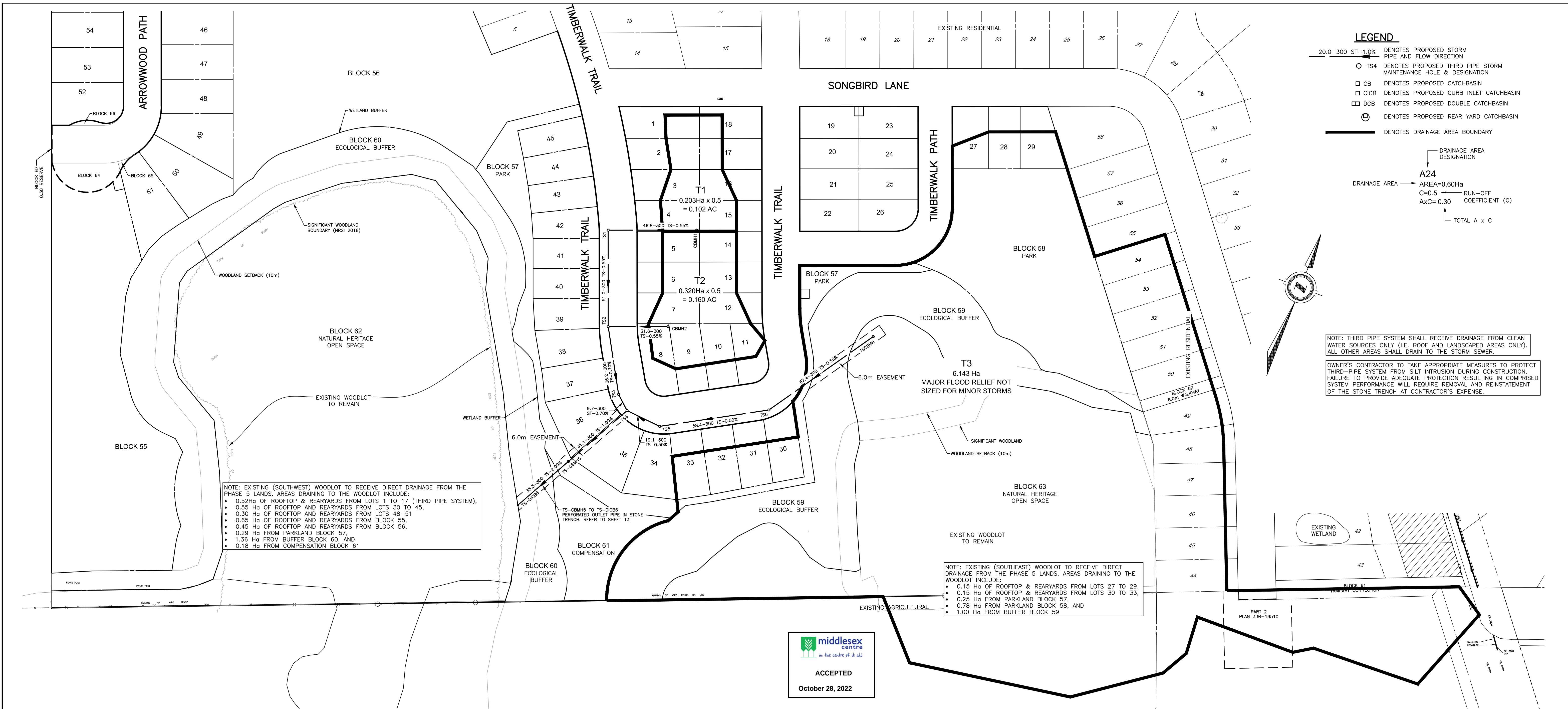
SHEET No.  
 3

PLAN FILE No.

**middlesex centre**  
 in the centre of it all

ACCEPTED

October 28, 2022



**LEGEND**

- 20.0-300 ST-1.0% DENOTES PROPOSED STORM PIPE AND FLOW DIRECTION
- TS4 DENOTES PROPOSED THIRD PIPE STORM MAINTENANCE HOLE & DESIGNATION
- CB DENOTES PROPOSED CATCHBASIN
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- DCB DENOTES PROPOSED DOUBLE CATCHBASIN
- ⊙ DENOTES PROPOSED REAR YARD CATCHBASIN
- DENOTES DRAINAGE AREA BOUNDARY

DRAINAGE AREA DESIGNATION

A24  
DRAINAGE AREA → AREA=0.60Ha  
C=0.5 → RUN-OFF COEFFICIENT (C)  
AxC=0.30 → TOTAL A x C

NOTE: THIRD PIPE SYSTEM SHALL RECEIVE DRAINAGE FROM CLEAN WATER SOURCES ONLY (I.E. ROOF AND LANDSCAPED AREAS ONLY). ALL OTHER AREAS SHALL DRAIN TO THE STORM SEWER.

OWNER'S CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT THIRD-PIPE SYSTEM FROM SILT INTRUSION DURING CONSTRUCTION. FAILURE TO PROVIDE ADEQUATE PROTECTION RESULTING IN COMPROMISED SYSTEM PERFORMANCE WILL REQUIRE REMOVAL AND REINSTATEMENT OF THE STONE TRENCH AT CONTRACTOR'S EXPENSE.

NOTE: EXISTING (SOUTHWEST) WOODLOT TO RECEIVE DIRECT DRAINAGE FROM THE PHASE 5 LANDS. AREAS DRAINING TO THE WOODLOT INCLUDE:

- 0.52Ha OF ROOFTOP & REARYARDS FROM LOTS 1 TO 17 (THIRD PIPE SYSTEM),
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NOTE: EXISTING (SOUTHEAST) WOODLOT TO RECEIVE DIRECT DRAINAGE FROM THE PHASE 5 LANDS. AREAS DRAINING TO THE WOODLOT INCLUDE:

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- 0.15 Ha OF ROOFTOP & REARYARDS FROM LOTS 30 TO 33,
- 0.25 Ha FROM PARKLAND BLOCK 57,
- 0.78 Ha FROM PARKLAND BLOCK 58, AND
- 1.00 Ha FROM BUFFER BLOCK 59



**RUNOFF COEFFICIENT 'C'**  
 PARKS & PLAYGROUNDS 0.2  
 RESIDENTIAL - SINGLE/FAMILY 0.5 and 0.55  
 - ROW/HOUSING 0.65  
 - APARTMENTS 0.65 and 0.70  
 COMMERCIAL & INDUSTRIAL 0.7 and 0.9

FLOW Q = 2.78 ACI  
 WHERE Q = PEAK FLOW IN LITRES PER SECOND (l/s)  
 A = AREA IN HECTARES (ha)  
 C = RUNOFF COEFFICIENT  
 I = RAINFALL INTENSITY IN MILLIMETERS PER HOUR (mm/hr)  
 RETURN PERIOD 2 YEARS

**STORM SEWER DESIGN SHEET**  
 MIDDLESEX CENTRE  
 TIMBERWALK SUBDIVISION - PHASE 4

PROJECT: TIMBERWALK SUBDIVISION - PHASE 5  
 FILE No. D0007P5 - 3RD PIPE DESIGN SHEET  
 DESIGNED BY: CW  
 CHECKED BY: AB  
 DATE: July 20, 2022

SEWER LOCATION			AREA		TOTAL (A X C)				RAINFALL INTENSITY			SEWER DESIGN							PROFILE				VELOCITY (BASED ON ACTUAL FLOWS)													
STREET	FROM	TO	AREA NO.	AREA Ha.	TOTAL AREA Ha.	RUNOFF COEFF. (above)	INCR AxC	TOTAL SECTION A X C	TOTAL LAT. A X C	TOTAL SEWER A x C	TOTAL SEW. 2.78 x AxC	TIME ENT. SECT. min	MIN ACCUM. min	INTENS. 'I' mm/hr	Q l/s	PIPE Dia mm	SLOPE		FINAL SLOPE	N	CAPACITY l/s	VELOCITY m/s	LENGTH m	TIME OF FLOW minutes	MANHOLE LOSSES m	DROP IN D.S. MH m	SEWER FALL m	INVERT U.S. m	ELEV. D.S. m	Q <sub>ACT</sub> (m³/s)	Pipe Dia. (mm)	Pipe Slope %	Q <sub>TULL</sub> (m³/s)	V <sub>TULL</sub> (m/s)	Q <sub>ACT</sub> /Q <sub>TULL</sub>	V <sub>ACT</sub> (m/s)
TIMBERWALK TRAIL	TS1	TS2	T1	0.203	0.203	0.50	0.102			0.102	0.282		18.00	76.00	21.43	300	0.016	0.55	0.013	69.96	0.863	51.0	0.98	0.000	0.030	0.261	283.895	283.814	0.021	300	0.550	0.072	1.014	0.269	0.863	
TIMBERWALK TRAIL	TS2	TS3	T2	0.320	0.523	0.50	0.160	0.102		0.262	0.727	0.98	18.98	73.26	53.26	300	0.036	0.40	0.013	74.97	1.241	36.2	0.49	0.016	0.030	0.253	283.584	283.331	0.053	300	0.700	0.081	1.144	0.658	1.241	
TIMBERWALK TRAIL	TS3	TS4			0.523	0.90	0.000	0.262		0.262	0.727	0.49	20.47	72.22	52.50	300	0.000	0.29	0.013	80.91	1.238	9.7	0.13	0.036	0.030	0.068	283.301	283.233	0.053	300	0.700	0.081	1.144	0.649	1.238	
BLOCK 63	TS7	TS6	T3	6.143	6.143	0.00	0.000			0.000	0.000		60.00	33.60	0.00	300	0.000	0.50	0.013	68.38	0.128	67.4	8.77	0.000	0.030	0.337	283.735	283.398	0.000	300	0.500	0.068	0.967	0.000	0.128	
TIMBERWALK TRAIL	TS8	TS5			0.000	0.00	0.000	0.000		0.000	0.000	8.77	68.77	30.54	0.00	300	0.000	0.00	0.50	0.013	68.38	0.128	58.4	7.60	0.000	0.030	0.292	283.368	283.076	0.000	300	0.500	0.068	0.967	0.000	0.128
TIMBERWALK TRAIL	TS5	TS4			0.000	0.00	0.000	0.000		0.000	0.000	7.60	76.37	28.38	0.00	300	0.000	0.00	0.50	0.013	68.38	0.128	19.1	2.49	0.000	0.030	0.096	283.046	282.950	0.000	300	0.500	0.068	0.967	0.000	0.128
TIMBERWALK TRAIL	TS4	TS-CBMH			0.523	0.90	0.000	0.262		0.262	0.727	0.13	20.60	71.92	52.29	300	0.000	0.29	2.00	0.013	136.75	1.765	41.1	0.39	0.000	0.030	0.822	283.309	282.487	0.052	300	2.000	0.137	1.935	0.382	1.765
TIMBERWALK TRAIL	TS-CBMH5	TS-DICB6			0.523	0.90	0.000	0.262		0.262	0.727	0.39	20.99	70.86	51.52	300	0.000	0.28	2.00	0.013	136.75	1.756	35.3	0.34	0.000	0.000	0.706	282.457	281.751	0.052	300	2.000	0.137	1.935	0.377	1.756

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT	CONSULTANT OR DIVISION	ENGINEER'S STAMP	SCALE	TITLE	PROJECT No.
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG	London Office			<b>TIMBERWALK SUBDIVISION - PHASE 5</b> ILBERTON ONTARIO SIFTON PROPERTIES LIMITED  <b>THIRD PIPE AREA PLAN &amp; DESIGN SHEET</b>	PROJECT No. <b>D0007P5</b> SHEET No. <b>4</b> PLAN FILE No.
				DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG	41 Adelaide St. N., Unit 71 (519) 672-8310  <b>development engineering</b> (London) Limited CONSULTING CIVIL ENGINEERS					
				CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG						
				F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG						
					5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG						
					6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG						
					7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG						
					8	ISSUED FOR SIXTH SUBMISSION	SEP. 09/23	DEVENG						
					9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG						

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SEWER LOCATION			AREA			TOTAL (A X C)					RAINFALL INTENSITY			SEWER DESIGN										PROFILE					VELOCITY (BASED ON ACTUAL FLOWS)								
STREET	FROM	TO	AREA NO.	AREA Ha.	TOTAL AREA ha.	RUNOFF COEFF. (above)	INCR AxC	TOTAL SECTION A X C	TOTAL LAT. A X C	TOTAL SEWER A x C	TOTAL SEW. 2.78 x AxC	TIME ENT. min.	MIN. ACCUM. min.	INTENS. ' mm/hr	Q l/s	PIPE Dia mm	SLOPE		FINAL SLOPE	N	CAPACITY l/s	VELOCITY m/s	LENGTH m	TIME OF FLOW minutes	MANHOLE LOSSES m	DROP IN D.S. MH m	SEWER FALL m	INVERT U.S.	ELEV. D.S. m	Q <sub>ACT</sub> (m <sup>3</sup> /s)	Pipe Dia. (mm)	Pipe Slope %	Q <sub>FULL</sub> (m <sup>3</sup> /s)	V <sub>FULL</sub> (m/s)	Q <sub>ACT</sub> / Q <sub>FULL</sub>	V <sub>ACT</sub> (m/s)	
																	ENERGY M	FRICITION %																			
SONGBIRD LANE	XR16	XR15	D1	1.360	1.360	0.50	0.68			0.680	1.890			19.00	76.00	143.64		0.039	0.254	0.50	0.013	192.31	1.389	86.7	1.04	0.000		0.434	285.630	285.196	0.144	450	0.500	0.202	1.267	0.713	1.389

\* AREA UPDATED TO INCLUDE NEW LOTS 27-29  
 \*\* A PORTION OF THESE BLOCKS IS REQUIRED FOR WOODLOT WATER BALANCE AND WILL NOT DRAIN TO THE STORM SEWER. REFER TO STORM AREA PLAN

$$TC @ * (T_{c1} * Q_1) + (T_{c2} * Q_2) + (T_{c3} * Q_3)$$

$$= (495.59 \times 23.66) + (373.16 \times 21.78) + (119.74 \times 21.54)$$

$$= 22.69 \text{ min}$$

$$T_{c1} = 23.12 + 0.54 = 23.66$$

$$T_{c2} = 21.18 + 0.60 = 21.78$$

$$T_{c3} = 21.33 + 0.21 = 21.54$$



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EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT	CONSULTANT OR DIVISION	ENGINEER'S STAMP	SCALE	TITLE	PROJECT No.	
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG	London Office			TIMBERWALK SUBDIVISION - PHASE 5	D0007P5	
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG	41 Adelaide St. N., Unit 71				ILDERTON ONTARIO	SHEET No.
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG	(519) 672-8310				SIFTON PROPERTIES LIMITED	5
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG					STORM DESIGN SHEET	PLAN FILE No.
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG						
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG						
						7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG	Paris Office					
						8	ISSUED FOR SIXTH SUBMISSION	SEP. 09/22	DEVENG	31 Mechanic St., Unit 301					
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG	(519) 442-1441					

D0007P5-AREA PLANS.DWG

**RESIDENTIAL POPULATIONS DENSITIES**

SINGLE FAMILY - 3 PEOPLE/LOT  
 MULTI-FAMILY - 37 UNITS/HA x 3.3/UNIT  
 LIGHT INDUSTRIAL - 20,000 l/net ha/day  
 LIGHT INDUSTRIAL - 55 people/net ha  
 Net area = 80% Gross Area

**SANITARY SEWER DESIGN SHEET**

MIDDLESEX CENTRE

**TIMBERWALK SUBDIVISION - PHASE 5**

DESIGN CRITERIA

$$SEWAGE = \frac{350 \times M \times POP.}{86.400}$$

$$INFILTRATION = 0.100 \text{ l/s/ha}$$

UNCERTAIN DEVELOPMENT FACTOR = 1.10

$$PEAKING \text{ FACTOR } (M) = 1 + \frac{14}{4 + \sqrt{P}}$$

PROJECT **TIMBERWALK SUBDIVISION - PHASE 5**

FILE No. D0007P5 - Sanitary Design Sheet

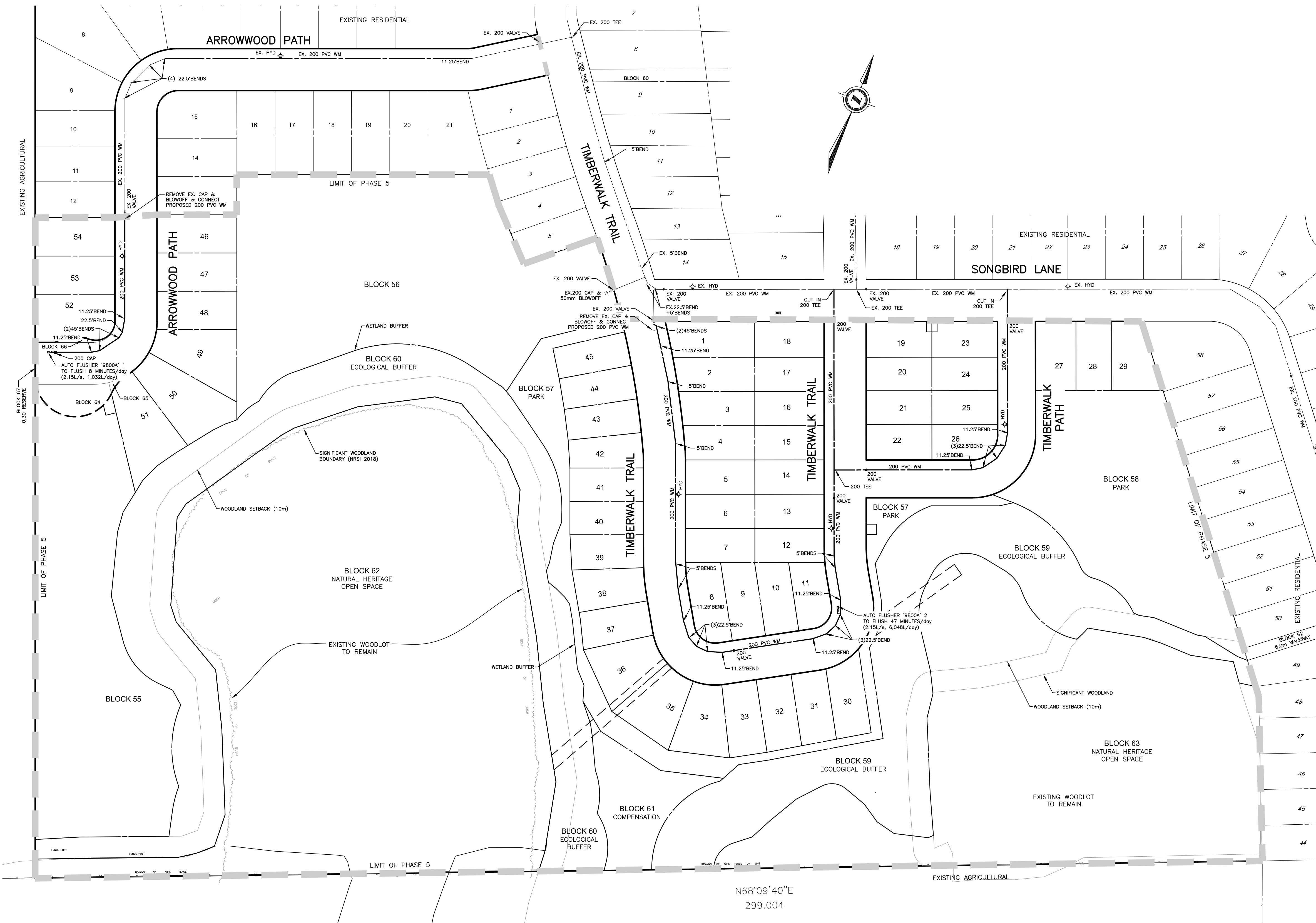
DESIGNED BY: CW

CHECKED BY: AB

DATE: 15-Jul-21

LOCATION				AREA			POPULATION				SEWAGE FLOW			SEWER DESIGN							PROFILE				VELOCITY (BASED ON ACTUAL FLOWS)							
AREA NO.	STREET	FROM MANHOLE	TO MANHOLE	NET OR GROSS	D hectares	TOTAL hectares	PER hectare	PER LOT	NO. OF LOTS	Δ POP.	TOTAL POP.	INFILT litres/sec	SEWAGE litres/sec	TOTAL litres/sec	SIZE (mm)	"n"	CALC. %	SLOPE %	CAP. litres/sec	VELOCITY metres/sec	LENGTH m	FALL IN SEWER	DROP MANHOLE	INVERT U.S.	ELEV. D.S.	Q <sub>ACT</sub> (m³/s)	Pipe Dia. (mm)	Pipe Slope (%)	Q <sub>FULL</sub> (m³/s)	V <sub>FULL</sub> (m/s)	Q <sub>ACT</sub> /Q <sub>FULL</sub>	V <sub>ACT</sub> (m/s)
A1	SONGBIRD LANE	XS15	XS14	G	1.360	1.360		3	10	30	30	0.136	0.529	0.732	200	0.013	0.000	0.60	25.406	0.27	82.6	0.496	0.030	284.922	284.426	0.001	200	0.60	0.025	0.809	0.029	0.274
A2	SONGBIRD LANE	SS14	XS13	G	1.220	2.580		3	10	30	60	0.258	1.045	1.433	200	0.013	0.002	0.60	25.406	0.39	85.0	0.510	0.030	284.396	283.886	0.001	200	0.60	0.025	0.809	0.056	0.390
A3	SONGBIRD LANE	XS13	XS12	G	1.300	3.880		3	10	30	90	0.388	1.552	2.134	200	0.013	0.004	0.60	25.406	0.47	84.7	0.508	0.030	283.856	283.348	0.002	200	0.60	0.025	0.809	0.084	0.474
A4	SONGBIRD LANE	XS12	XS11	G	0.310	4.190		3	2	6	96	0.419	1.652	2.278	200	0.013	0.005	0.60	25.406	0.49	21.2	0.127	0.030	283.318	283.191	0.002	200	0.60	0.025	0.809	0.090	0.488
A5	SONGBIRD LANE	XS11	XS10	G	0.766	4.956		3	8	24	120	0.496	2.052	2.803	200	0.013	0.007	0.50	23.192	0.50	92.1	0.461	0.030	283.161	282.700	0.003	200	0.50	0.023	0.738	0.121	0.502
A6	SONGBIRD LANE	XS10	XS3	G	0.530	5.486		3	4	12	132	0.549	2.250	3.079	200	0.013	0.009	2.00	46.384	0.77	90.0	1.800	0.304	282.670	280.870	0.003	200	2.00	0.046	1.476	0.066	0.774
A7	VIOLET COURT	XS9	XS8	G	1.290	1.290		3	9	27	27	0.129	0.477	0.667	200	0.013	0.000	0.80	29.336	0.28	62.2	0.498	0.030	283.647	283.150	0.001	200	0.80	0.029	0.934	0.023	0.281
A8	VIOLET COURT	XS8	XS7	G	0.830	2.120		3	7	21	48	0.212	0.840	1.157	200	0.013	0.001	1.20	35.929	0.41	69.4	0.833	0.030	283.120	282.287	0.001	200	1.20	0.036	1.144	0.032	0.411
A9	VIOLET COURT	XS7	XS5	G	0.650	2.770		3	6	18	66	0.277	1.147	1.566	200	0.013	0.002	1.00	32.798	0.46	66.0	0.660	0.144	282.257	281.597	0.002	200	1.00	0.033	1.044	0.048	0.462
A10	MOSSY WOOD WALK	XS6	XS5	G	0.370	0.370		3	3	9	9	0.037	0.161	0.218	200	0.013	0.000	2.25	49.198	0.26	47.3	1.064	0.030	282.548	281.483	0.000	200	2.25	0.049	1.566	0.004	0.264
A11	MOSSY WOOD WALK	XS5	XS4	G	0.390	3.530		3	3	9	84	0.353	1.451	1.984	200	0.013	0.004	0.50	23.192	0.44	59.6	0.298	0.030	281.453	281.149	0.002	200	0.50	0.023	0.738	0.086	0.437
A12	MOSSY WOOD WALK	XS4	XS3	G	0.270	3.800		3	2	6	90	0.380	1.552	2.125	200	0.013	0.004	0.50	23.192	0.45	52.1	0.281	0.293	281.119	280.859	0.002	200	0.50	0.023	0.738	0.092	0.450
P5-1	TIMBERWALK PATH	SA16	SA15	G	0.249	0.249		3	3	9	9	0.025	0.161	0.205	200	0.013	0.000	1.50	40.170	0.22	49.5	0.743	0.030	284.744	284.001	0.000	200	1.50	0.040	1.279	0.005	0.222
P5-2	TIMBERWALK PATH	SA15	SA14	G	0.075	0.324		3	1	3	12	0.032	0.214	0.271	200	0.013	0.000	2.00	46.384	0.27	11.9	0.238	0.030	283.971	283.733	0.000	200	2.00	0.046	1.476	0.006	0.265
P5-3	TIMBERWALK PATH	SA14	SA13	G	0.033	0.357		3	0	0	12	0.036	0.214	0.275	200	0.013	0.000	2.00	46.384	0.27	14.9	0.298	0.030	283.703	283.405	0.000	200	2.00	0.046	1.476	0.006	0.266
P5-4	TIMBERWALK PATH	SA13	SA11	G	0.102	0.459		3	0	0	12	0.046	0.214	0.286	200	0.013	0.000	2.50	51.859	0.29	62.7	1.568	0.550	283.375	281.807	0.000	200	2.50	0.052	1.651	0.006	0.292
P5-5	TIMBERWALK TRAIL	SA12	SA11	G	0.185	0.185		3	2	6	6	0.019	0.108	0.140	200	0.013	0.000	3.00	56.809	0.28	31.2	0.936	0.550	282.743	281.807	0.000	200	3.00	0.057	1.808	0.002	0.276
P5-6	TIMBERWALK TRAIL	SA11	XS3	G	0.638	1.282		3	9	27	45	0.128	0.788	1.008	200	0.013	0.001	0.53	23.878	0.31	84.9	0.450	0.000	281.257	280.807	0.001	200	0.53	0.024	0.760	0.042	0.315
A14	SONGBIRD LANE	XS3	XS2	G	0.180	10.748					267	1.075	4.434	6.060	200	0.013	0.034	0.60	25.406	0.66	99.6	0.598	0.595	280.566	280.170	0.006	200	0.60	0.025	0.809	0.239	0.656
P5-7	TIMBERWALK TRAIL	SA10	SA9	G	0.658	0.658		3	8	24	24	0.066	0.425	0.540	200	0.013	0.000	0.65	26.443	0.24	60.0	0.390	0.030	282.857	282.467	0.001	200	0.65	0.026	0.842	0.020	0.240
P5-8	TIMBERWALK TRAIL	SA9	SA8	G	0.281	0.939		3	3	9	33	0.094	0.581	0.743	200	0.013	0.001	1.00	32.798	0.31	19.1	0.191	0.030	282.437	282.246	0.001	200	1.00	0.033	1.044	0.023	0.313
P5-9	TIMBERWALK TRAIL	SA8	SA7	G	0.186	1.125		3	2	6	39	0.113	0.685	0.878	200	0.013	0.001	1.00	32.798	0.34	37.1	0.371	0.030	282.216	281.845	0.001	200	1.00	0.033	1.044	0.027	0.341
P5-10	TIMBERWALK TRAIL	SA7	SA6	G	0.433	1.558		3	6	18	57	0.156	0.994	1.265	200	0.013	0.001	1.00	32.798	0.41	51.0	0.510	0.030	281.815	281.305	0.001	200	1.00	0.033	1.044	0.039	0.412
P5-11	TIMBERWALK TRAIL	SA6	SA5	G	0.280	1.838		3	4	12	69	0.184	1.198	1.520	200	0.013	0.002	1.50	40.170	0.50	25.6	0.384	0.030	281.275	280.891	0.002	200	1.50	0.040	1.279	0.038	0.500
P5-12	TIMBERWALK TRAIL	SA5	SA4	G	0.325	2.163		3	4	12	81	0.216	1.400	1.778	200	0.013	0.003	2.80	54.882	0.63	37.9	1.061	0.000	280.861	279.800	0.002	200	2.80	0.055	1.747	0.032	0.629
P5-13	TIMBERWALK TRAIL	SA4	XS2	G	0.015	2.178		3	0	0	81	0.218	1.400	1.780	200	0.013	0.003	1.13	34.865	0.51	11.5	0.130	0.000	279.720	279.590	0.002	200	1.13	0.035	1.110	0.051	0.509
P5-14	BLOCK 56	BLK56	XS2	G	1.370	1.370	75	2.4	103	105	105	0.137	1.805	2.136	200	0.013	0.004	1.00	32.798	0.54	20.0	0.200	0.000	280.350	280.150	0.002	200	1.00	0.033	1.044	0.065	0.542
A22	TIMBERWALK TRAIL	XS2	XS1B	G	0.290	14.586		3	3	9	462	1.459	7.473	9.825	200	0.013	0.090	0.50	23.192	0.70	37.1	0.186	0.030	279.575	279.387	0.010	200	0.50	0.023	0.738	0.424	0.698
A23	TIMBERWALK TRAIL	XS1B	XS1A	G	0.930	15.516		3	10	30	492	1.552	7.930	10.430	200	0.013	0.101	0.50	23.192	0.71	87.0	0.435	0.030	279.357	278.922	0.010	200	0.50	0.023	0.738	0.450	0.713
P5-15	BLOCK 55	BLK55	SA3	G	1.050	1.050	75	2	79	81	81	0.105	1.403	1.659	200	0.013	0.003	0.60	25.406	0.42	28.4	0.170	0.030	281.334	280.164	0.002	200	0.60	0.025	0.809	0.065	0.421
P5-16	ARROWWOOD PATH	SA3	SA2A	G	1.050	1.050		3	0	0	81	0.105	1.403	1.659	200	0.013	0.003	0.85	30.239	0.46	19.5	0.166	0.030	280.134	280.985	0.002	200	0.85	0.030	0.962	0.055	0.458
P5-17	ARROWWOOD PATH	SA2A	SA2	G	0.302	1.352		3	2	6	87	0.135	1.504	1.803	200	0.013	0.003	0.80	29.336	0.47	17.0	0.136	0.030	280.955	280.802	0.002	200	0.80	0.029	0.934	0.061	0.471
	ARROWWOOD PATH	SA2	SA1	G	0.293	1.645		3	3	9	96	0.165	1.655	2.002	200	0.013	0.004	0.76	28.593	0.49	20.4	0.155	0.030	280.772	280.616	0.002	200	0.76	0.029	0.910	0.070	0.490





**WATERMAIN NOTES:**

**WATERMANS**

- UP TO AND INCLUDING 300mm DIA TO AWWA C900; CSA B 137.3; CLASS 150 DR 18 WITH CAST IRON OUTSIDE DIAMETER DIMENSIONS;
- 400mm AND 450mm DIA TO AWWA C905; CSA B137.2; CLASS 165 DR 25 (MINIMUM) WITH CAST IRON OUTSIDE DIAMETER DIMENSIONS;
- PIPE GREATER THAN 600mm DIA IS NOT APPROVED FOR USE IN MIDDLESEX CENTRE;
- A 12 GAUGE COPPER WIRE MUST BE SUPPLIED ALONG THE FULL LENGTH OF THE PIPE TO PROVIDE ELECTRICAL CONTINUITY;
- ALL PVC PIPE AND PVC FITTINGS ARE TO BE BLUE IN COLOUR;
- FITTINGS FOR 100mm TO 200mm DIA ARE TO BE PVC; FITTINGS FOR 250mm PIPE AND GREATER ARE TO USE MECHANICAL JOINT DI FITTINGS.

**SERVICES**

- SERVICES TO BE 25mm DIA MUNICIPEX (OR APPROVED EQUAL)
- SERVICES TO BE INSTALLED IN ACCORDANCE WITH FIGURE 5.10 \*STANDARD INSTALLATION OF 20mm AND 25mm WATER SERVICE;
- SERVICES 50mm TO BE RIGID REHAU MUNICIPEX OR IPEX BLUE 904;
- SERVICE SADDLE TO BE PROVIDED FOR: ALL PVC PIPE; 25mm SERVICE TO 100mm DI; AND 40mm TO 50mm SERVICES TO ANY DI AND CI MAIN;
- CURB STOPS TO BE LOCATED 300mm FROM PROPERTY LINE ON STREET SIDE; CURB STOPS TO HAVE STAINLESS STEEL COTTER PINS;
- MAIN COCK AND CURB STOP TO OPEN COUNTER CLOCKWISE;
- APPROVED CURB AND MAIN STOPS:
  - CAMBRIDGE BRASS
  - FORD
  - MUELLER

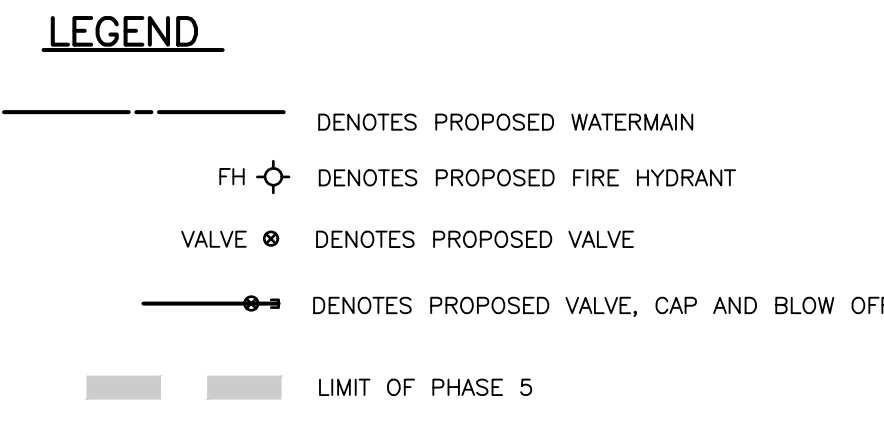
**HYDRANTS**

- HYDRANTS TO BE AWWA C-502 FOR DRY BARREL WITH PUSH ON JOINTS TO ANS/AWWA C111/A21.11 WITH BREAK FLANGE;
- HYDRANTS ARE TO OPEN COUNTER CLOCKWISE;
- EACH HYDRANT TO BE CONTROLLED BY A GATE VALVE LOCATED IN FRONT OF THE HYDRANT;
- HYDRANTS TO HAVE CHROME YELLOW HIGH GLOSS EXTERIOR PAINT OVER QUICK DRY RED OXIDE PRIMER;
- TO BE INSTALLED MINIMUM 1.5m FROM ANY DRIVEWAY; MINIMUM COVER OF 1.7m AND MAXIMUM 1.9m; FLANGE TO BE GRADED MINIMUM OF 100mm AND MAXIMUM OF 300mm FROM FINISHED GRADE;
- APPROVED HYDRANTS:
  - CANADA VALVE CENTURY
  - MCAVITY HYDRANT M-67
- ANODES AS PER MUNICIPALITY OF MIDDLESEX CENTRE STANDARDS

**VALVES**

- VALVES TO BE RESILIENT WEDGE GATE VALVES TO AWWA C509; STANDARD IRON BODY; BRONZE MOUNTED, NON-RISING STEM;
- VALVES ARE TO OPEN COUNTER-CLOCKWISE;
- AN EXTENSION ROD AND SCREW TYPE VALVE BOX ARE TO BE SUPPLIED FOR EVERY VALVE; EXTENSION RODS ARE TO EXTEND TO 150MM TO 300MM BELOW FINISHED GRADE;
- VALVES TYPICALLY ARE TO BE LOCATED IN LINE WITH THE EXTENSION OF THE STREET LIMIT LINE;
- VALVES 100mm TO 200mm DIA TO HAVE BELL ENDS; VALVES 250mm TO 450mm TO HAVE MECHANICAL JOINT ENDS;
- VALVE FLANGES, BONNETS, NUTS, BOLTS AND WASHERS TO BE PROTECTED FROM CORROSION USING DENSO PASTE, MASTIC AND PETROLATUM TAPE.

• ANODES SHALL BE INSTALLED ON ALL METALLIC FITTINGS



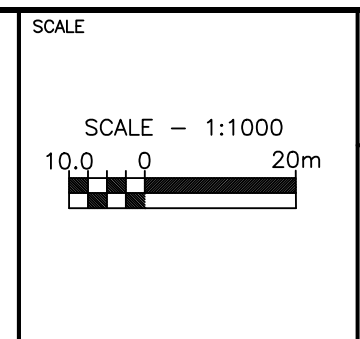
EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG
						7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG
						8	ISSUED FOR SIXTH SUBMISSION	SEP. 09/22	DEVENG
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

CONSULTANT OR DIVISION

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Paris Office  
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(519) 442-1441

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TITLE

**TIMBERWALK SUBDIVISION -- PHASE 5**  
ILDERTON ONTARIO  
SIFTON PROPERTIES LIMITED

**WATER DISTRIBUTION PLAN**

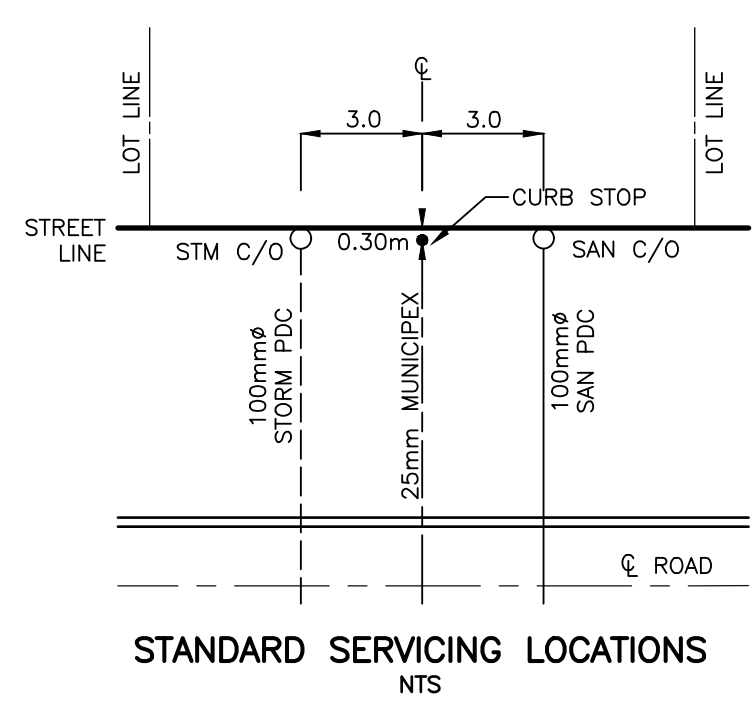
PROJECT No.  
**D0007P5**

SHEET No.  
**7**

PLAN FILE No.

D:\0007P5-AREA PLANS.dwg





- NOTES:
1. PROVIDE CLEANOUT TO FINISHED GRADE AS PER MIDDLESEX CENTRE STANDARD FIGURE 2.7 AND FIGURE 4.15.
  2. PROVIDE MARKER STAKES PER MIDDLESEX CENTRE STANDARDS FIGURE 2.8 AND FIGURE 4.16. STAKES SHALL BE PAINTED GREEN FOR STORM AND RED FOR SANITARY.

OWNER'S CONTRACTOR TO INSTALL CLAY COLLARS ON SANITARY SEWER IN WET CONDITIONS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. SEE DETAIL ON SHEET 20.

NOTE: SWEEP BEND CONNECTIONS SHALL BE PROVIDED FOR ALL STORM PDC'S WHERE CONFLICTS ARE ENCOUNTERED BETWEEN THE PDC'S AND PROPOSED WATERMAIN. CONTRACTOR SHALL SCHEDULE WATERMAIN INSTALLATION ACCORDINGLY IN SOME AREAS TO ENSURE THAT PDC'S CROSS AT A MINIMUM 0.50m ABOVE OR 0.15m BELOW WATERMAIN WHILE MAINTAINING 1.5m COVER AT PROPERTY LINE.

CATCHBASIN AND MANHOLE LIDS TO BE SET TO BASE ASPHALT

REFER TO SHEETS 18 & 19 DETAILS AND A LIST OF APPLICABLE MUNICIPALITY OF MIDDLESEX CENTRE STANDARDS FOR SEWERS, WATER & ROADS.

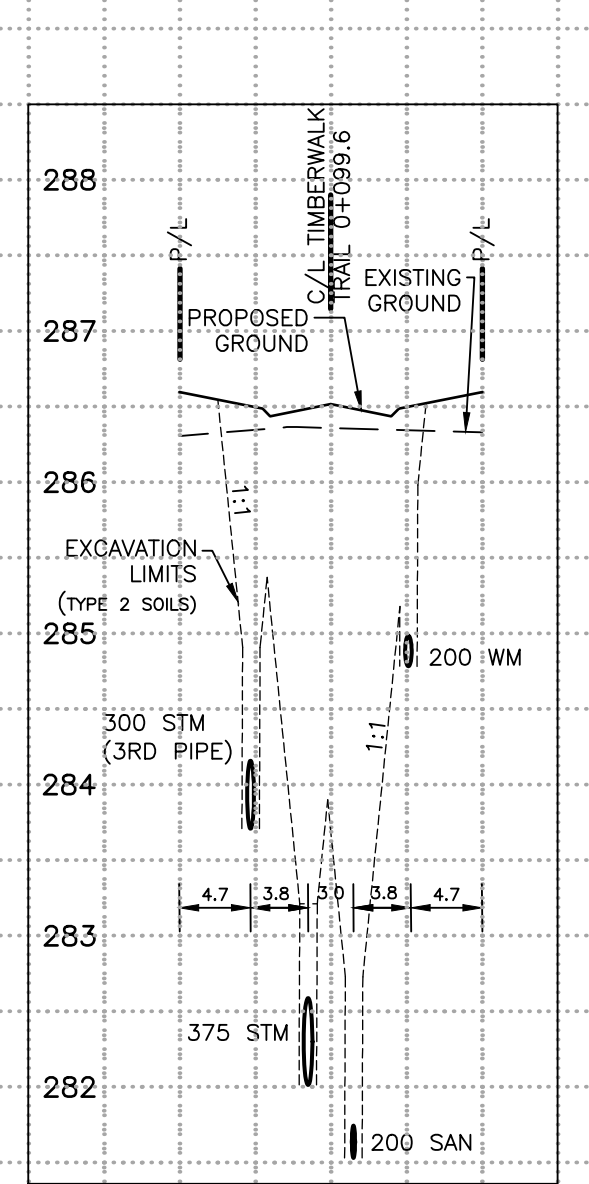
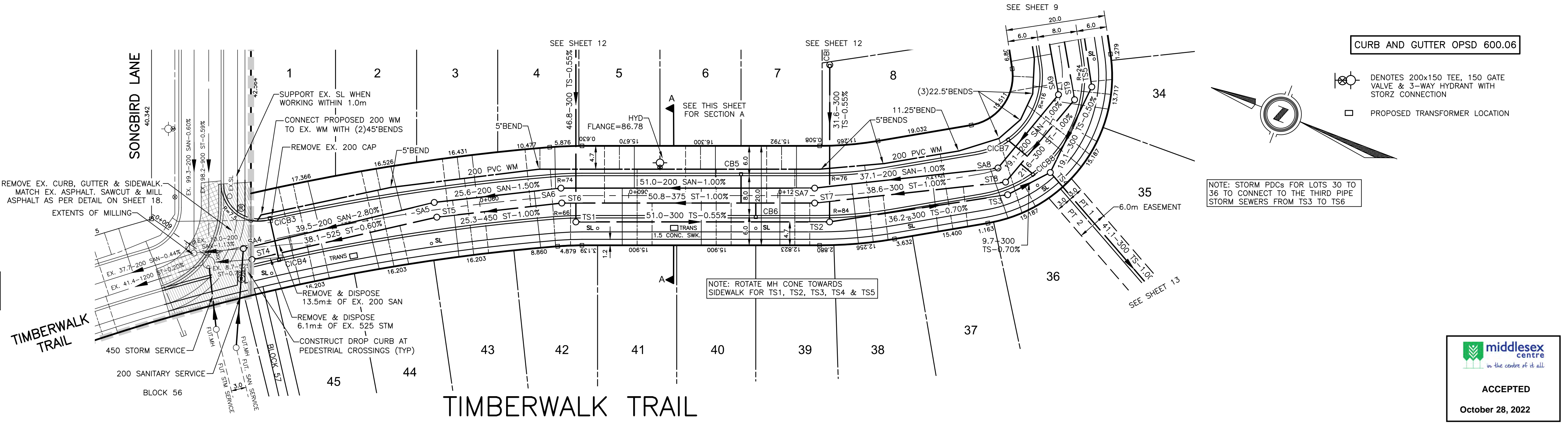
STORM & SANITARY STUBS SHALL HAVE SEALED, WATERTIGHT CAPS

SEE PAVEMENT STRUCTURE DETAIL ON SHEET 20

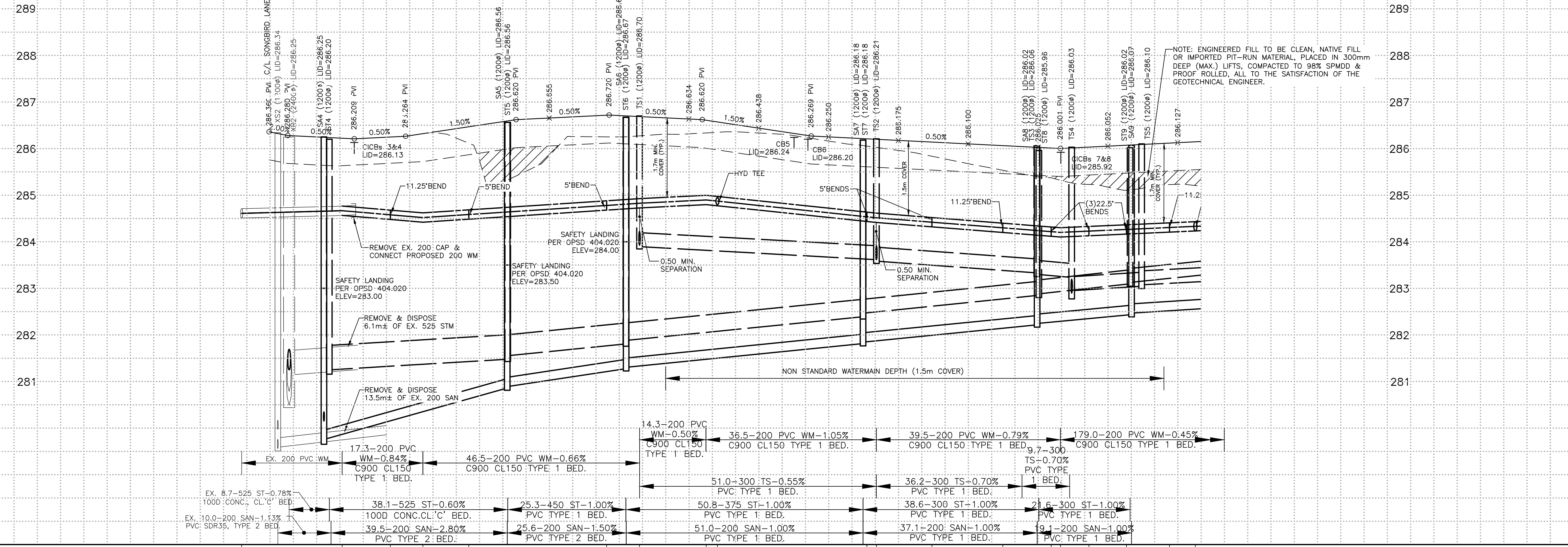
INSTALL PARSON MANHOLE INSERTS IN ALL SANITARY MANHOLES

REFER TO GRADING PLANS FOR ASPHALT ELEVATIONS AT INTERSECTIONS.

OWNER'S CONTRACTOR SHALL OBTAIN LOCATES AND CONFIRM LOCATION AND ELEVATION OF ALL EXISTING SERVICES AND UTILITIES.



SECTION A-A  
1:500 HOR.  
1:50 VERT.



STATION	SANITARY SEWER INVERT	STORM SEWER INVERT	3RD PIPE WATERMAIN INVERT	C/L WATERMAIN ELEVATION
-0+030.00				
-0+015.00				
0+000.00	279.560M	279.570M	280.780M	284.61
0+013.12	280.150M	279.560M	280.490M	284.67
0+015.00	279.560M	279.560M	281.140M	284.58
0+030.00				284.52
0+032.98				284.58
0+045.00				284.78
0+050.99	280.661M	280.671M	281.470M	284.83
0+060.00				284.87
0+075.00	281.275M	281.807M	283.331M	284.90
0+079.40	281.305M	281.754M	283.305M	284.51
0+090.00				284.42
0+092.98				284.30
0+105.00				284.22
0+116.26				284.20
0+120.00				284.23
0+127.40	281.815M	282.390M	283.331M	284.26
0+130.26	281.845M	282.465M	283.331M	284.31
0+135.00				284.33
0+150.00				284.33
0+165.00	282.216M	282.851M	283.331M	284.33
0+167.24	282.246M	282.881M	283.331M	284.33
0+169.81				284.33
0+172.24				284.33
0+180.00				284.33
0+185.09	282.437M	283.097M	283.046M	284.33
0+187.26	282.467M	283.127M	283.046M	284.33
0+195.00				284.33

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG
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ENGINEER'S STAMP

**middlesex centre**  
in the centre of it all

SCALE

HORIZONTAL - 1:500  
5 0 10m

VERTICAL - 1:50  
0.5 0 1.0m

TITLE

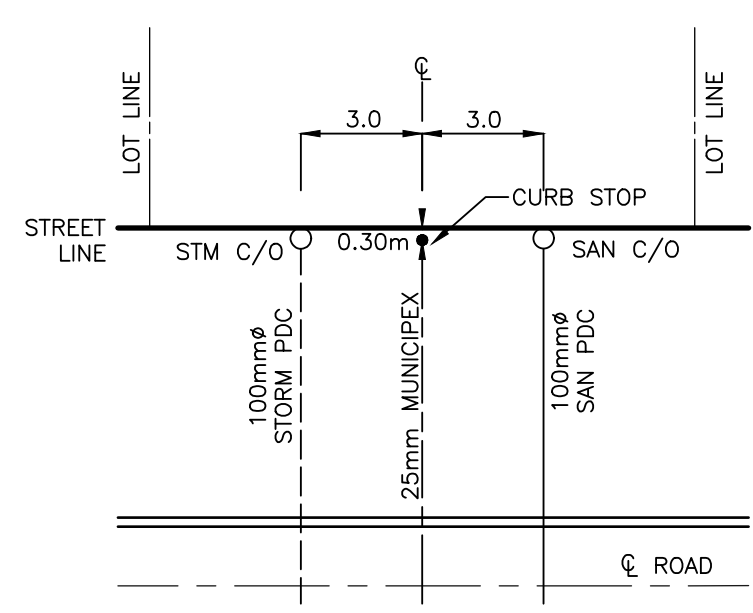
**TIMBERWALK SUBDIVISION - PHASE 5**  
ILDERTON ONTARIO  
SIFTON PROPERTIES LIMITED

**TIMBERWALK TRAIL**  
FROM SONGBIRD LANE  
TO STA. 0+195

PROJECT No.  
**D0007P5**

SHEET No.  
**9**

PLAN FILE No.



- NOTES:
1. PROVIDE CLEANOUT TO FINISHED GRADE AS PER MIDDLESEX CENTRE STANDARD FIGURE 2.7 AND FIGURE 4.15.
  2. PROVIDE MARKER STAKES PER MIDDLESEX CENTRE STANDARDS FIGURE 2.8 AND FIGURE 4.16. STAKES SHALL BE PAINTED GREEN FOR STORM AND RED FOR SANITARY.

CURB AND GUTTER OPSD 600.06

- DENOTES 200x150 TEE, 150 GATE VALVE & 3-WAY HYDRANT WITH STORZ CONNECTION
- PROPOSED TRANSFORMER LOCATION

OWNER'S CONTRACTOR TO INSTALL CLAY COLLARS ON SANITARY SEWER IN WET CONDITIONS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. SEE DETAIL ON SHEET 20.

NOTE: SWEEP BEND CONNECTIONS SHALL BE PROVIDED FOR ALL STORM PDC'S WHERE CONFLICTS ARE ENCOUNTERED BETWEEN THE PDC'S AND PROPOSED WATERMAIN. CONTRACTOR SHALL SCHEDULE WATERMAIN INSTALLATION ACCORDINGLY IN SOME AREAS TO ENSURE THAT PDC'S CROSS AT A MINIMUM 0.50m ABOVE OR 0.15m BELOW WATERMAIN WHILE MAINTAINING 1.5m COVER AT PROPERTY LINE.

CATCHBASIN AND MANHOLE LIDS TO BE SET TO BASE ASPHALT

REFER TO SHEETS 18 & 19 DETAILS AND A LIST OF APPLICABLE MUNICIPALITY OF MIDDLESEX CENTRE STANDARDS FOR SEWERS, WATER & ROADS.

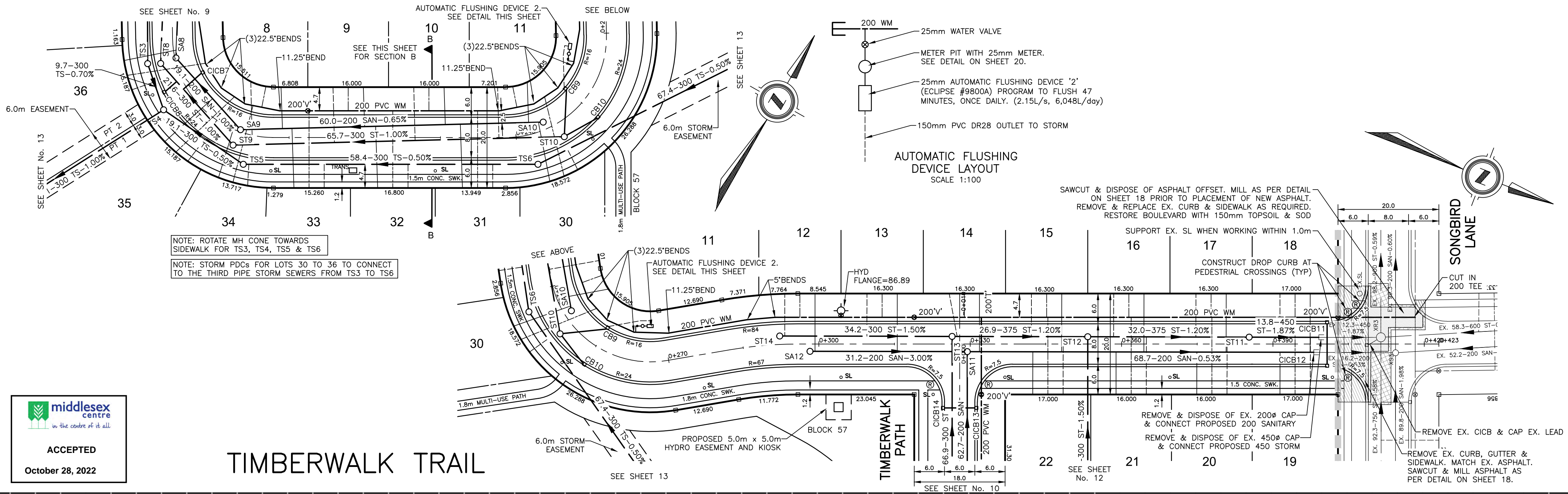
STORM & SANITARY STUBS SHALL HAVE SEALED, WATERTIGHT CAPS

SEE PAVEMENT STRUCTURE DETAIL ON SHEET 20

INSTALL PARSON MANHOLE INSERTS IN ALL SANITARY MANHOLES

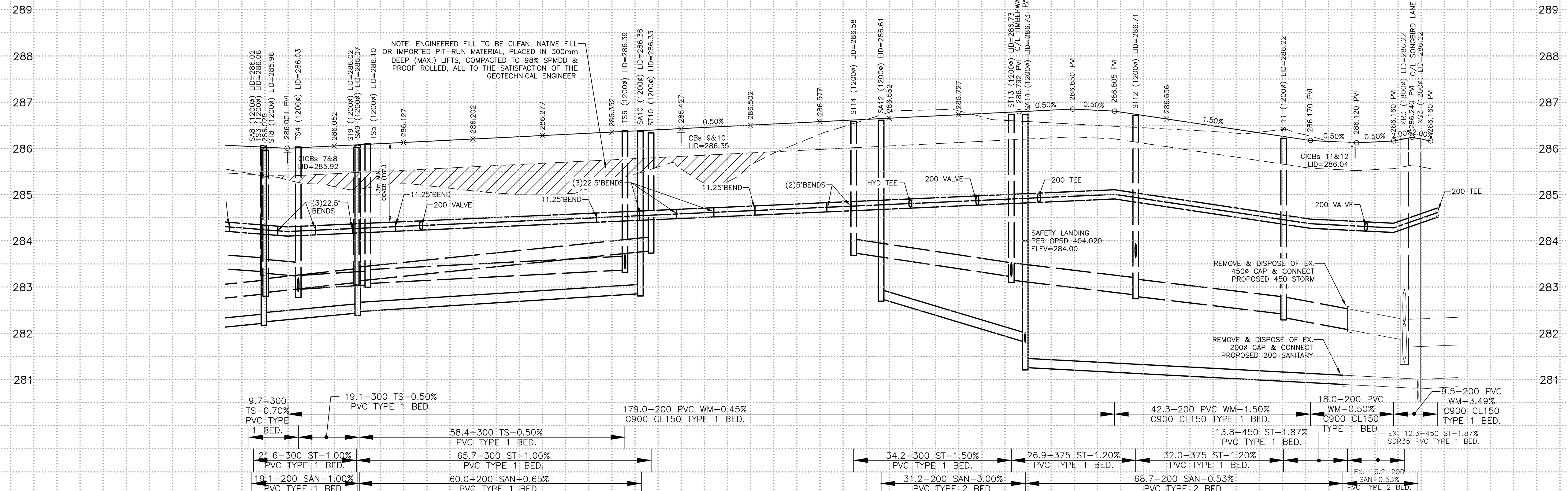
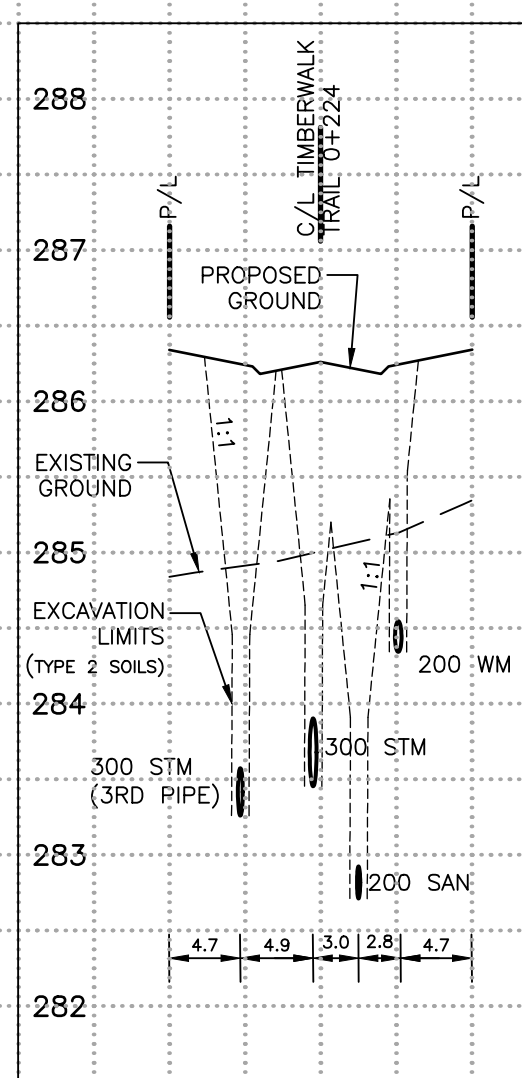
REFER TO GRADING PLANS FOR ASPHALT ELEVATIONS AT INTERSECTIONS.

OWNER'S CONTRACTOR SHALL OBTAIN LOCATES AND CONFIRM LOCATION AND ELEVATION OF ALL EXISTING SERVICES AND UTILITIES.



ACCEPTED  
October 28, 2022

TIMBERWALK TRAIL



C/A WATERMAIN ELEVATION	3RD PIPE SEWER INVERT	STORM SEWER INVERT	SANITARY SEWER INVERT	STATION
284.30		283.31	283.31	0+150.00
284.22		283.23	283.23	0+165.00
284.20		283.21	283.21	0+169.81
284.23		283.24	283.24	0+172.24
284.26		283.27	283.27	0+180.00
284.31		283.32	283.32	0+195.00
284.33		283.34	283.34	0+210.00
284.50		283.51	283.51	0+225.00
284.54		283.55	283.55	0+240.00
284.58		283.59	283.59	0+246.42
284.62		283.63	283.63	0+255.00
284.66		283.67	283.67	0+270.00
284.73		283.74	283.74	0+285.00
284.75		283.76	283.76	0+292.32
284.81		283.82	283.82	0+298.25
284.87		283.88	283.88	0+300.00
284.93		283.94	283.94	0+315.00
284.99		283.99	283.99	0+326.42
285.01		284.01	284.01	0+329.22
285.07		284.07	284.07	0+330.00
285.13		284.13	284.13	0+348.72
285.19		284.19	284.19	0+353.31
285.25		284.25	284.25	0+360.00
285.31		284.31	284.31	0+375.00
285.37		284.37	284.37	0+385.30
285.43		284.43	284.43	0+390.00
285.49		284.49	284.49	0+391.06
285.55		284.55	284.55	0+405.00
285.61		284.61	284.61	0+409.07
285.67		284.67	284.67	0+420.00
285.73		284.73	284.73	0+435.00

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG
						7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG
						8	ISSUED FOR SIXTH SUBMISSION	SEP. 28/22	DEVENG
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

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SCALE  
HORIZONTAL - 1:500  
VERTICAL - 1:50

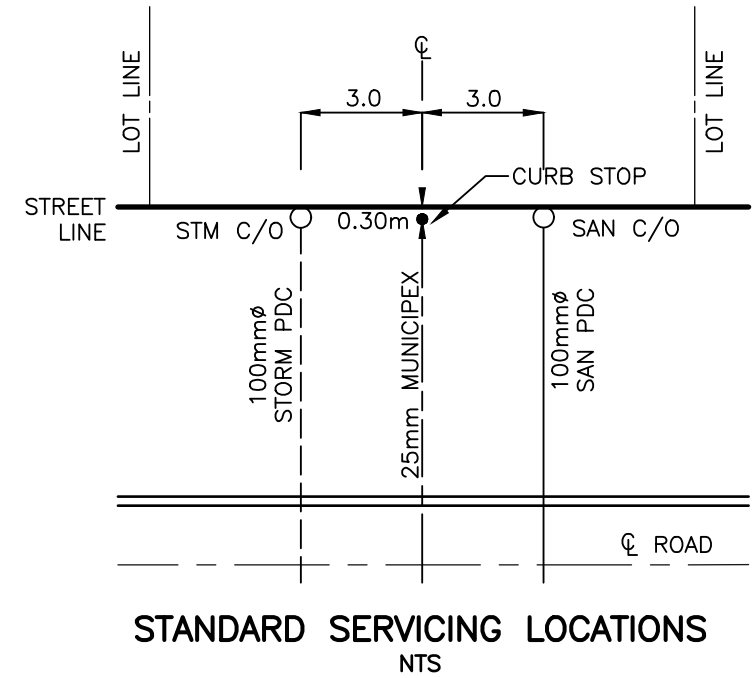
TITLE  
TIMBERWALK SUBDIVISION - PHASE 5  
ILDERTON ONTARIO  
SIFTON PROPERTIES LIMITED

TIMBERWALK TRAIL  
FROM STA. 0+165  
TO SONGBIRD LANE

PROJECT No.  
D0007P5

SHEET No.  
10

PLAN FILE No.



- NOTES:
1. PROVIDE CLEANOUT TO FINISHED GRADE AS PER MIDDLESEX CENTRE STANDARD FIGURE 2.7 AND FIGURE 4.15.
  2. PROVIDE MARKER STAKES PER MIDDLESEX CENTRE STANDARDS FIGURE 2.8 AND FIGURE 4.16. STAKES SHALL BE PAINTED GREEN FOR STORM AND RED FOR SANITARY.

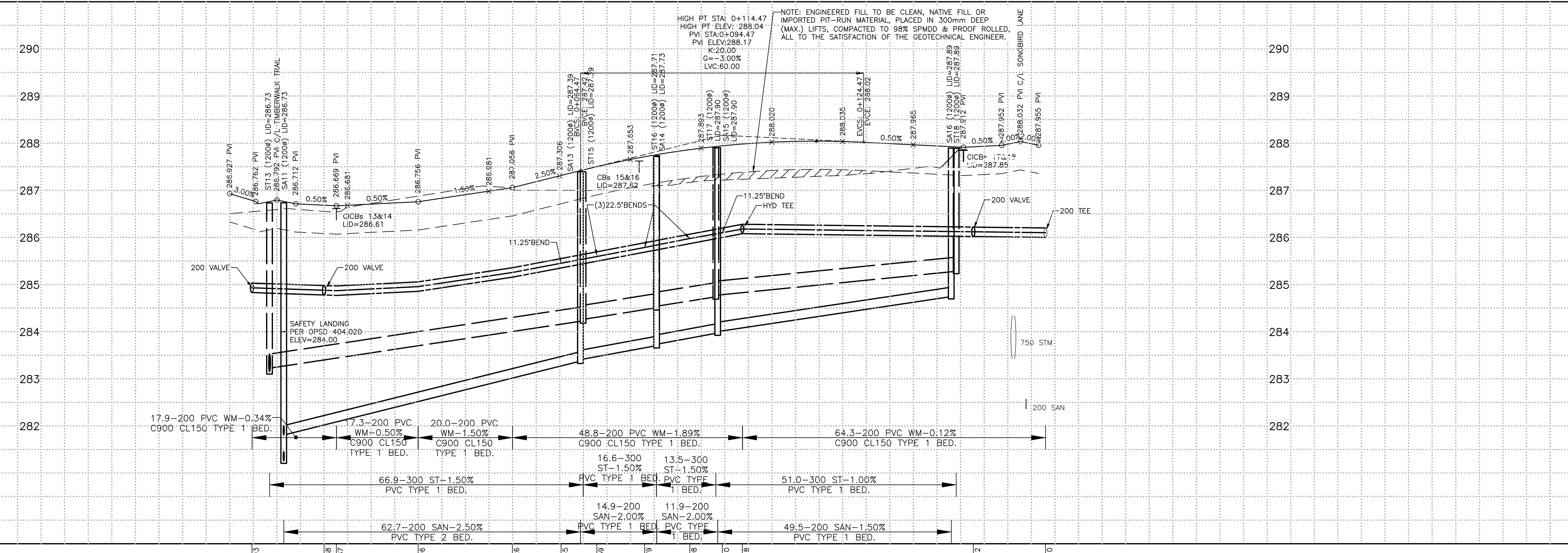
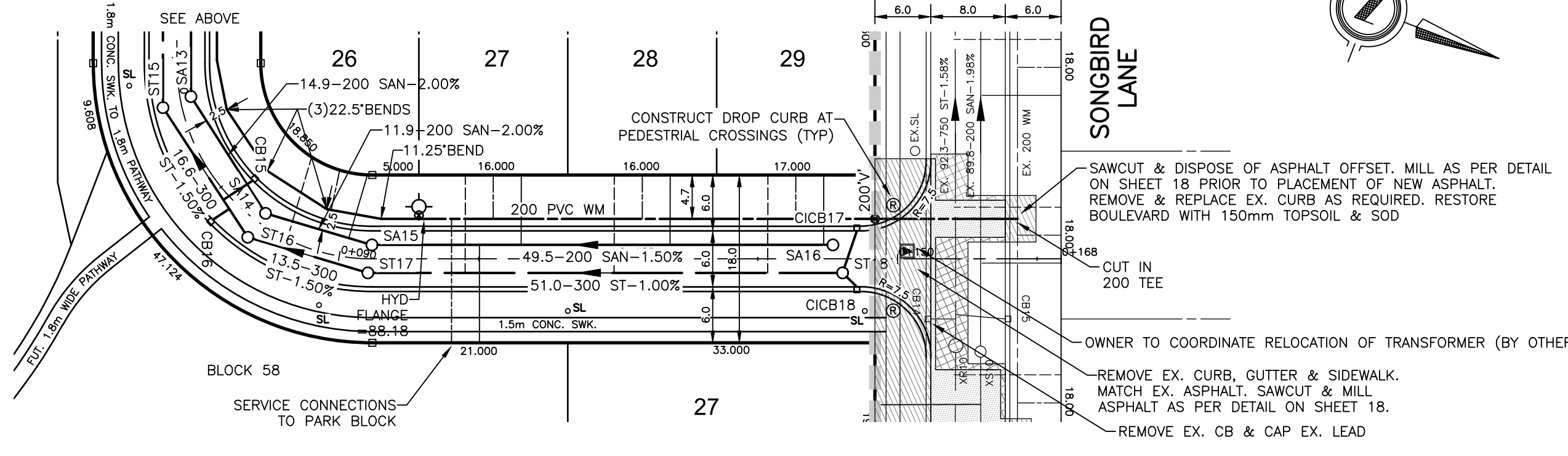
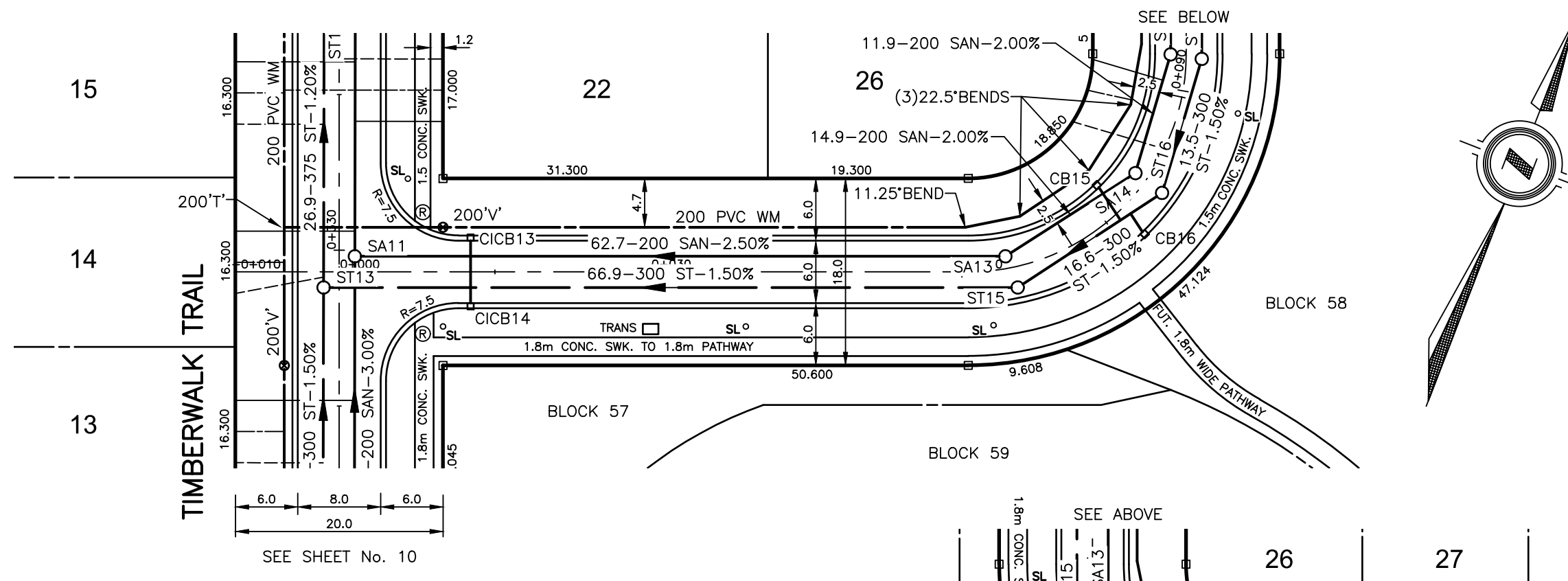
CURB AND GUTTER OPSD 600.06

- DENOTES 200x150 TEE, 150 GATE VALVE & 3-WAY HYDRANT WITH STORZ CONNECTION
- PROPOSED TRANSFORMER LOCATION

OWNER'S CONTRACTOR TO INSTALL CLAY COLLARS ON SANITARY SEWER IN WET CONDITIONS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. SEE DETAIL ON SHEET 20.

NOTE: SWEEP BEND CONNECTIONS SHALL BE PROVIDED FOR ALL STORM PDC'S WHERE CONFLICTS ARE ENCOUNTERED BETWEEN THE PDC'S AND PROPOSED WATERMAIN. CONTRACTOR SHALL SCHEDULE WATERMAIN INSTALLATION ACCORDINGLY IN SOME AREAS TO ENSURE THAT PDC'S CROSS AT A MINIMUM 0.50m ABOVE OR 0.15m BELOW WATERMAIN WHILE MAINTAINING 1.5m COVER AT PROPERTY LINE.

- CATCHBASIN AND MANHOLE LIDS TO BE SET TO BASE ASPHALT
- REFER TO SHEETS 18 & 19 DETAILS AND A LIST OF APPLICABLE MUNICIPALITY OF MIDDLESEX CENTRE STANDARDS FOR SEWERS, WATER & ROADS.
- STORM & SANITARY STUBS SHALL HAVE SEALED, WATERTIGHT CAPS
- SEE PAVEMENT STRUCTURE DETAIL ON SHEET 20
- INSTALL PARSON MANHOLE INSERTS IN ALL SANITARY MANHOLES
- REFER TO GRADING PLANS FOR ASPHALT ELEVATIONS AT INTERSECTIONS.
- OWNER'S CONTRACTOR SHALL OBTAIN LOCATES AND CONFIRM LOCATION AND ELEVATION OF ALL EXISTING SERVICES AND UTILITIES.



STATION	WATERMAIN ELEVATION	STORM SEWER INVERT	SANITARY SEWER INVERT
0+000.00		284.93	283.2255
0+015.00		284.85	283.2255
0+030.00		284.87	283.2255
0+045.00		284.96	283.2255
0+060.00		285.26	283.2255
0+075.00		285.45	283.2255
0+090.00		285.59	283.2255
0+105.00		285.79	283.2255
0+120.00		285.98	283.2255
0+135.00		286.10	283.2255
0+150.00		286.12	283.2255
0+165.00		286.10	283.2255
0+180.00			283.2255
0+195.00			283.2255

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG
						7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG
						8	ISSUED FOR SIXTH SUBMISSION	SEP. 28/22	DEVENG
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

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LICENSED PROFESSIONAL ENGINEER  
D.J. HOEVENAARS  
100149199  
OCT 27, 2022  
PROVINCE OF ONTARIO

**middlesex centre**  
in the centre of it all

SCALE  
HORIZONTAL - 1:500  
VERTICAL - 1:50

TITLE  
**TIMBERWALK SUBDIVISION - PHASE 5**  
ILDERTON ONTARIO  
SIFTON PROPERTIES LIMITED

**TIMBERWALK PATH**  
FROM TIMBERWALK TRAIL  
TO SONGBIRD LANE

PROJECT No.  
**D0007P5**

SHEET No.  
**11**

PLAN FILE No.

CATCHBASIN AND MANHOLE LIDS TO BE SET TO BASE ASPHALT  
 REFER TO SHEETS ?? & ?? DETAILS AND A LIST OF APPLICABLE MUNICIPALITY OF MIDDLESEX CENTRE STANDARDS FOR SEWERS, WATER & ROADS.  
 SEE PAVEMENT STRUCTURE DETAIL ON SHEET ??  
 STORM & SANITARY STUBS SHALL HAVE SEALED, WATERTIGHT CAPS

\* DENOTES WHERE FOOTING SHALL BE DEEPENED ADJACENT TO REAR YARD STORM SEWERS (TYP.) SEE USF - THIS DRAWING

CURB AND GUTTER OPSD 600.06

⊗ DENOTES 200x150 TEE, 150 GATE VALVE & 3-WAY HYDRANT WITH STORZ CONNECTION



ACCEPTED  
 October 28, 2022

OWNER'S CONTRACTOR TO INSTALL CLAY COLLARS ON SANITARY SEWER IN WET CONDITIONS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. SEE DETAIL ON SHEET 20.

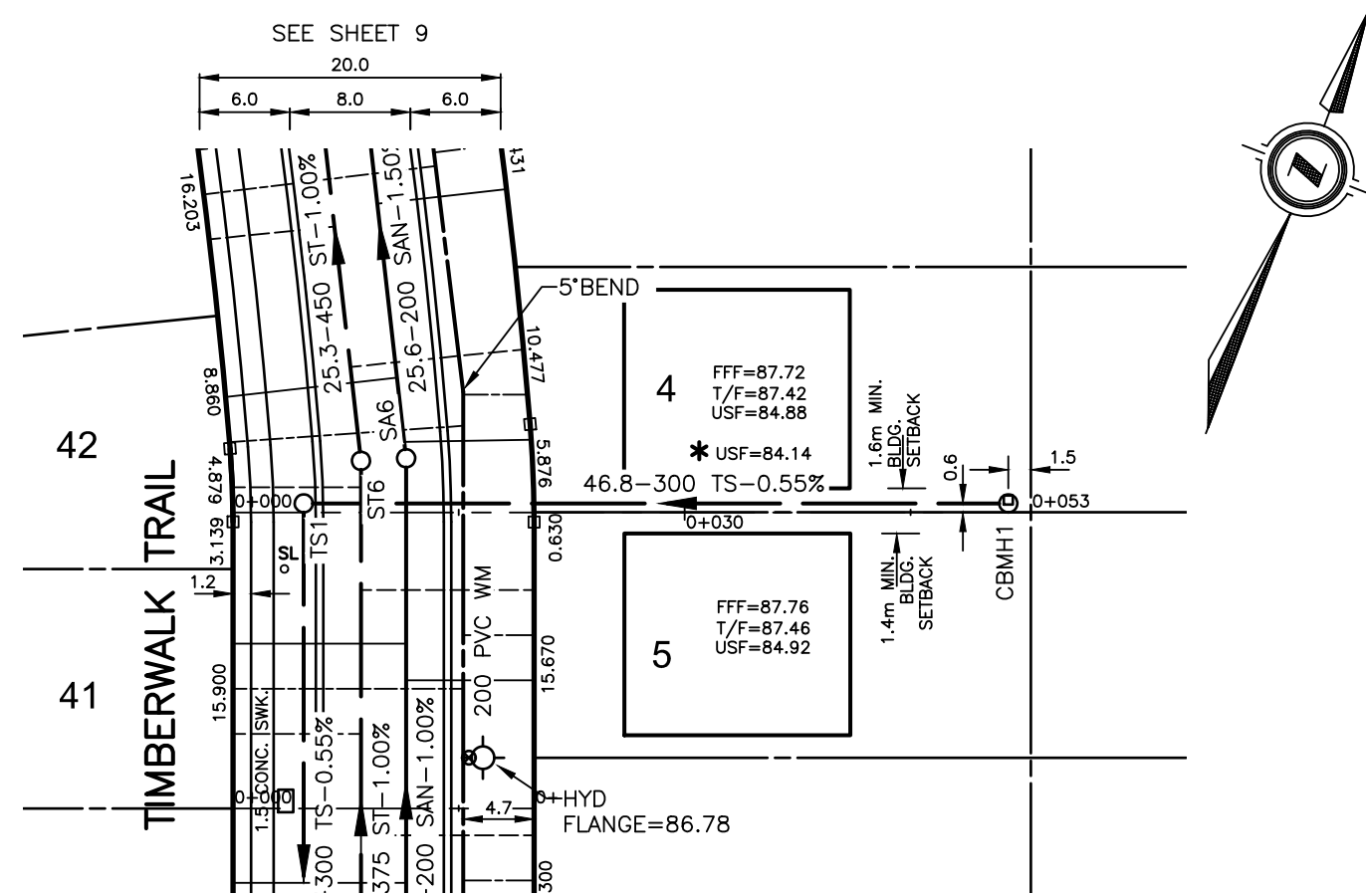
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CATCHBASIN AND MANHOLE LIDS TO BE SET TO BASE ASPHALT

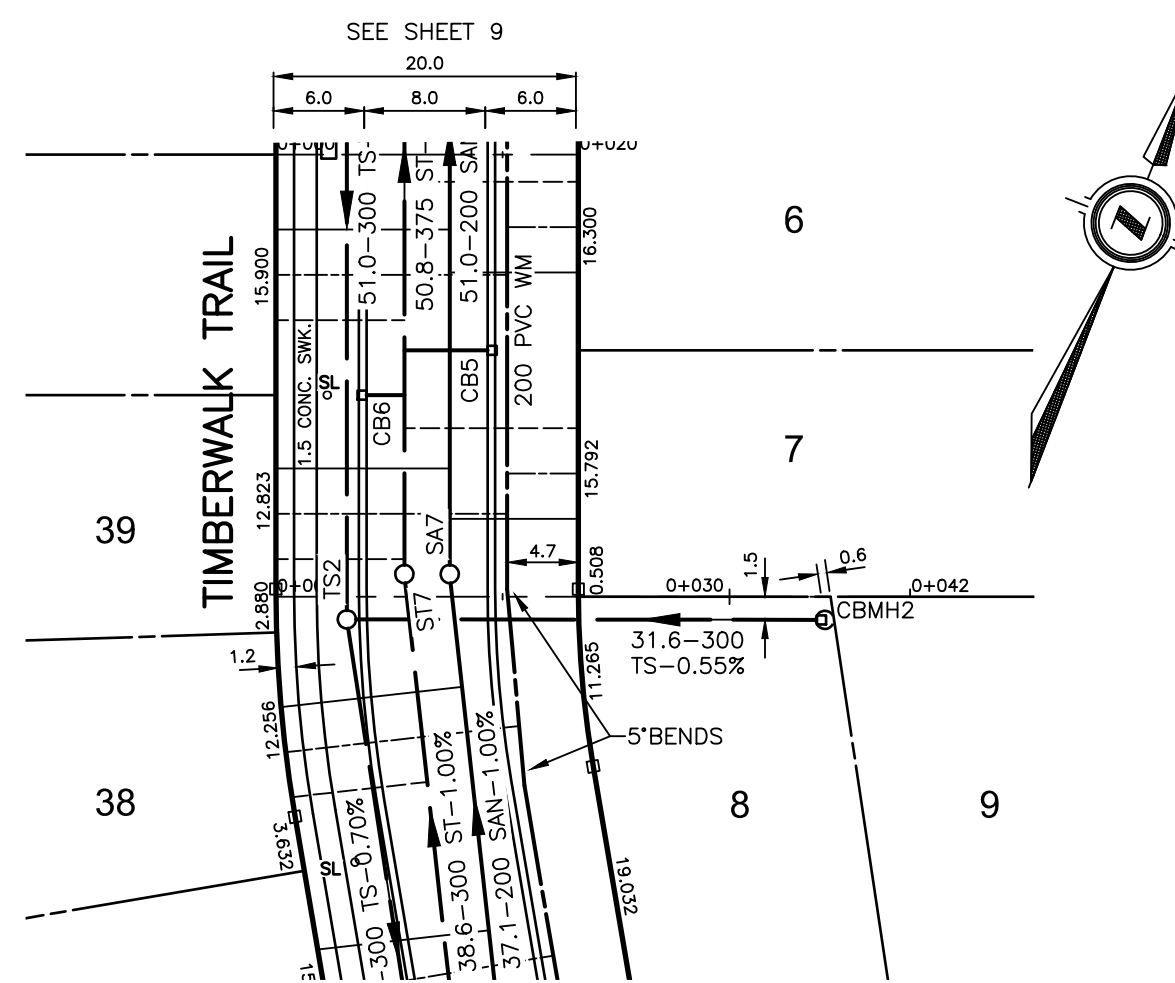
STORM & SANITARY STUBS SHALL HAVE SEALED, WATERTIGHT CAPS

SEE PAVEMENT STRUCTURE DETAIL ON SHEET 20

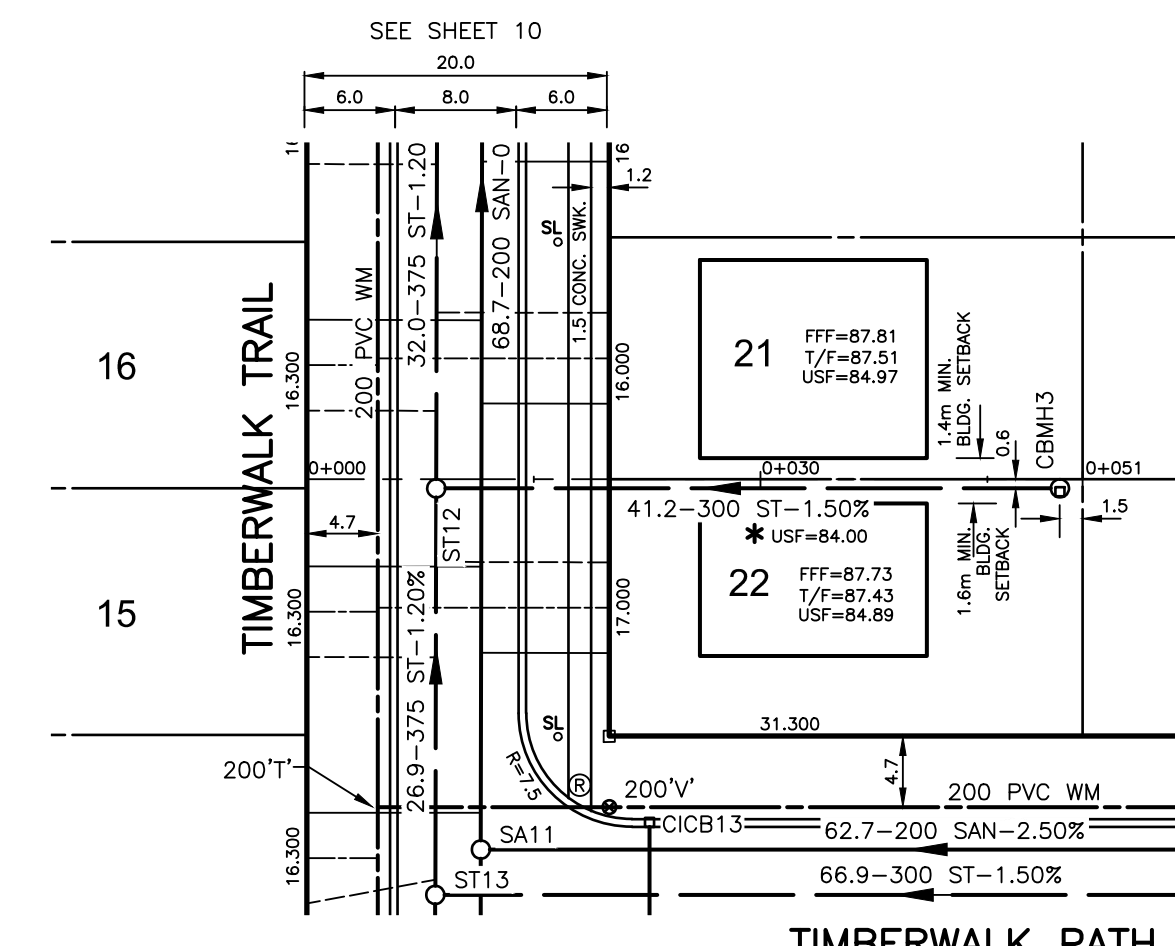
INSTALL PARSON MANHOLE INSERTS IN ALL SANITARY MANHOLES



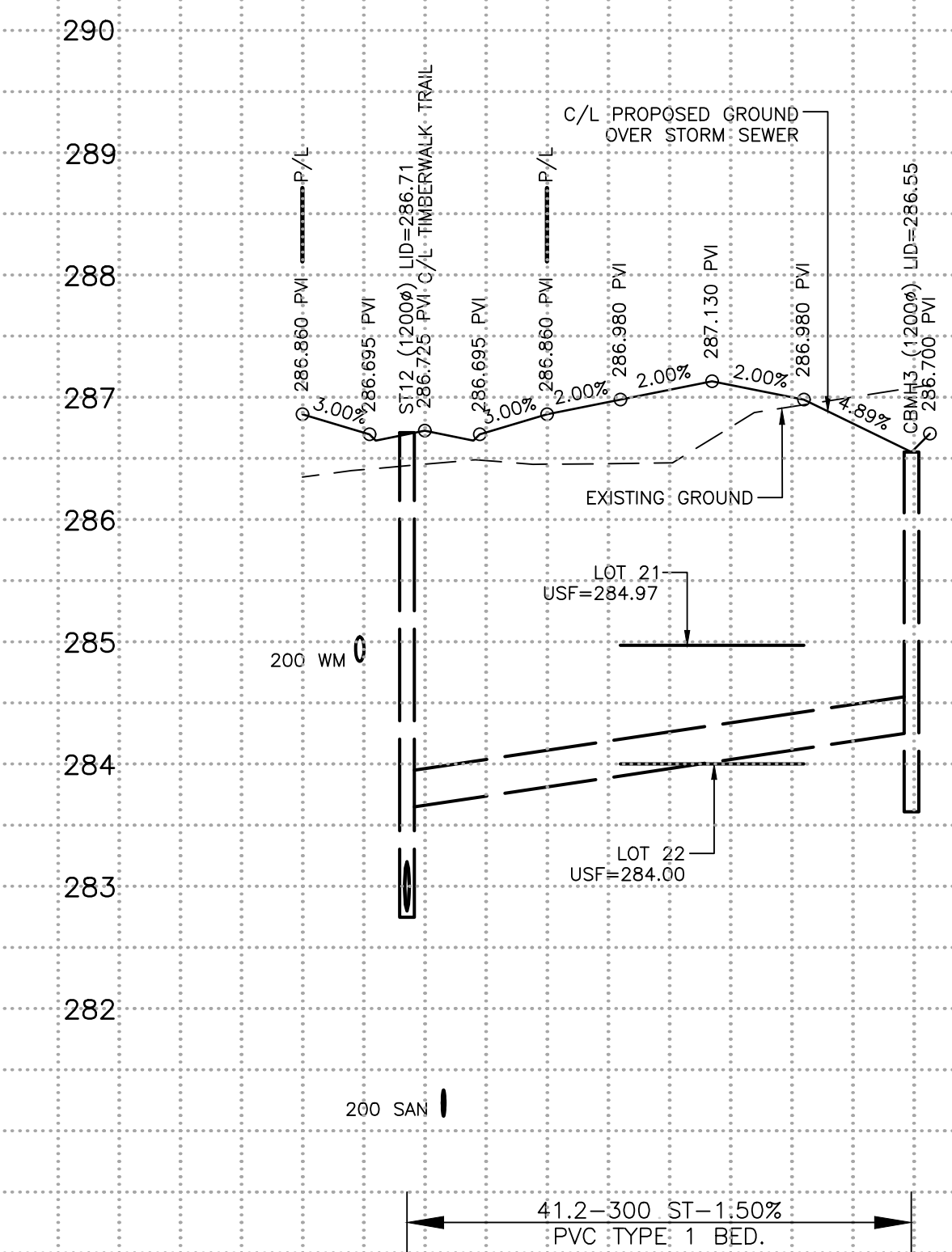
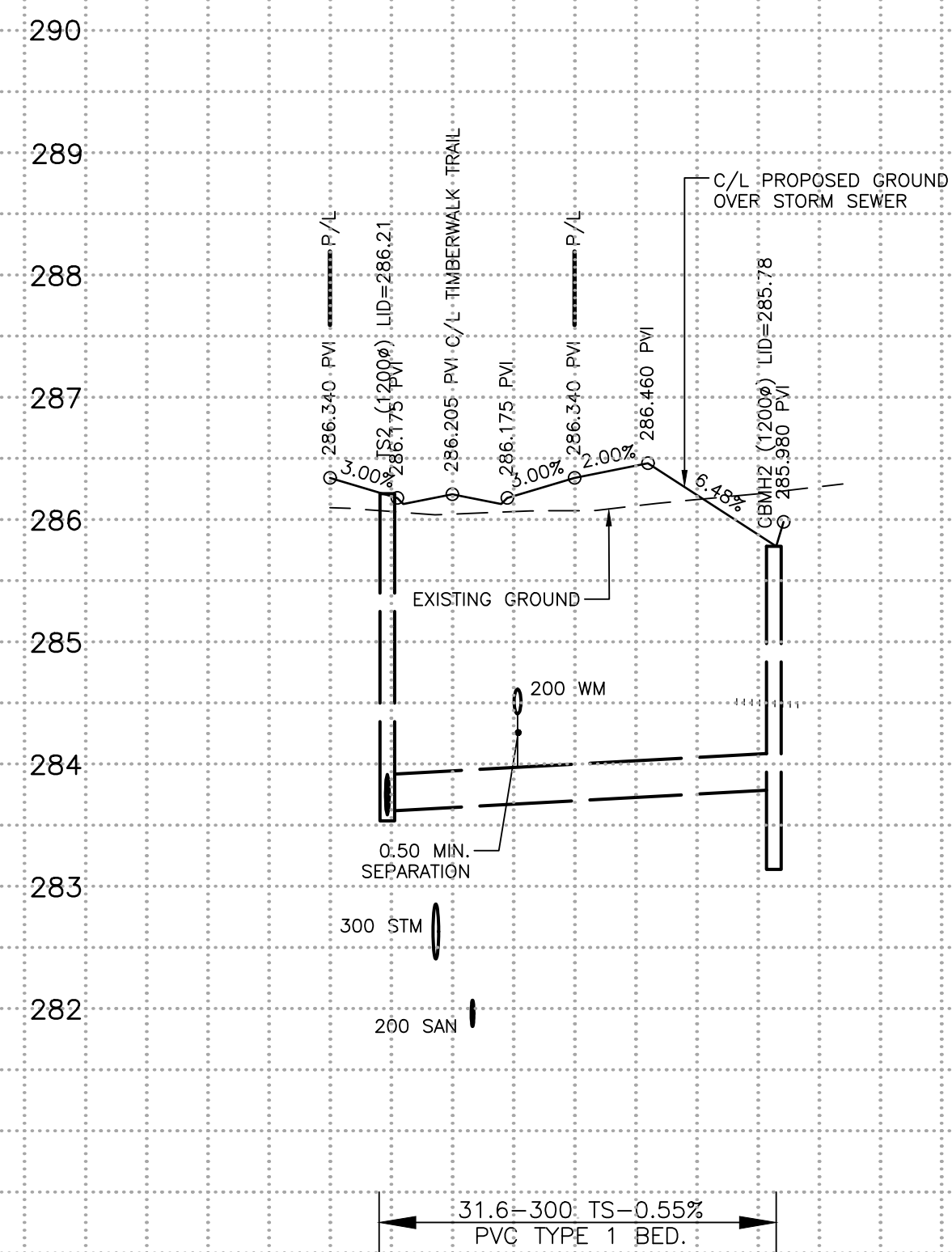
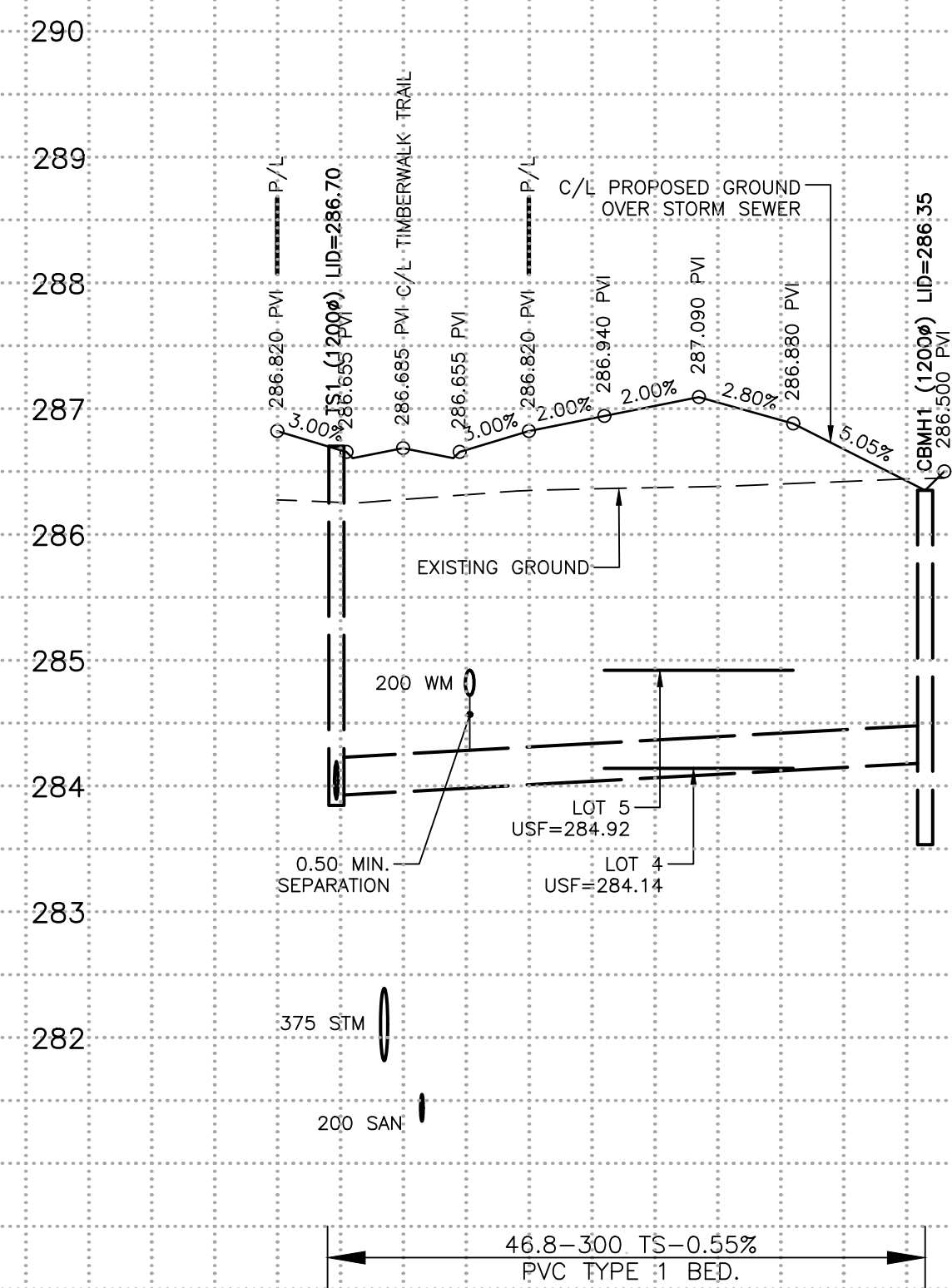
CBMH 1



CBMH 2



CBMH 3



STATION	SANITARY SEWER INVERT	STORM SEWER INVERT	C/L WATERMAIN ELEVATION
0+000.00	283.334	281.818	284.820
0+004.70	283.525E	283.895S	283.925E
0+015.00	281.334	281.818	284.820
0+030.00			
0+045.00			
0+051.50			284.120W
0+060.00			
0+015.00			
0+030.00			
0+034.70	283.614N	283.594SE	284.510
0+045.00	283.614E	283.614E	284.510
0+050.00			
0+056.31	282.406	282.406	283.788W
0+065.00	281.854	281.854	
0+075.00			
0+080.96	282.877SE	282.877N	284.940
0+095.00	283.670N	283.670N	
0+105.00	281.121	281.121	
0+105.00	284.2595W	284.2595W	284.55
0+105.00			
0+045.00			
0+049.80			
0+060.00			

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
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						9	REVISED KIOSK LOCATION ON SONGIRD	OCT. 27/22	DEVENG

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 in the centre of it all

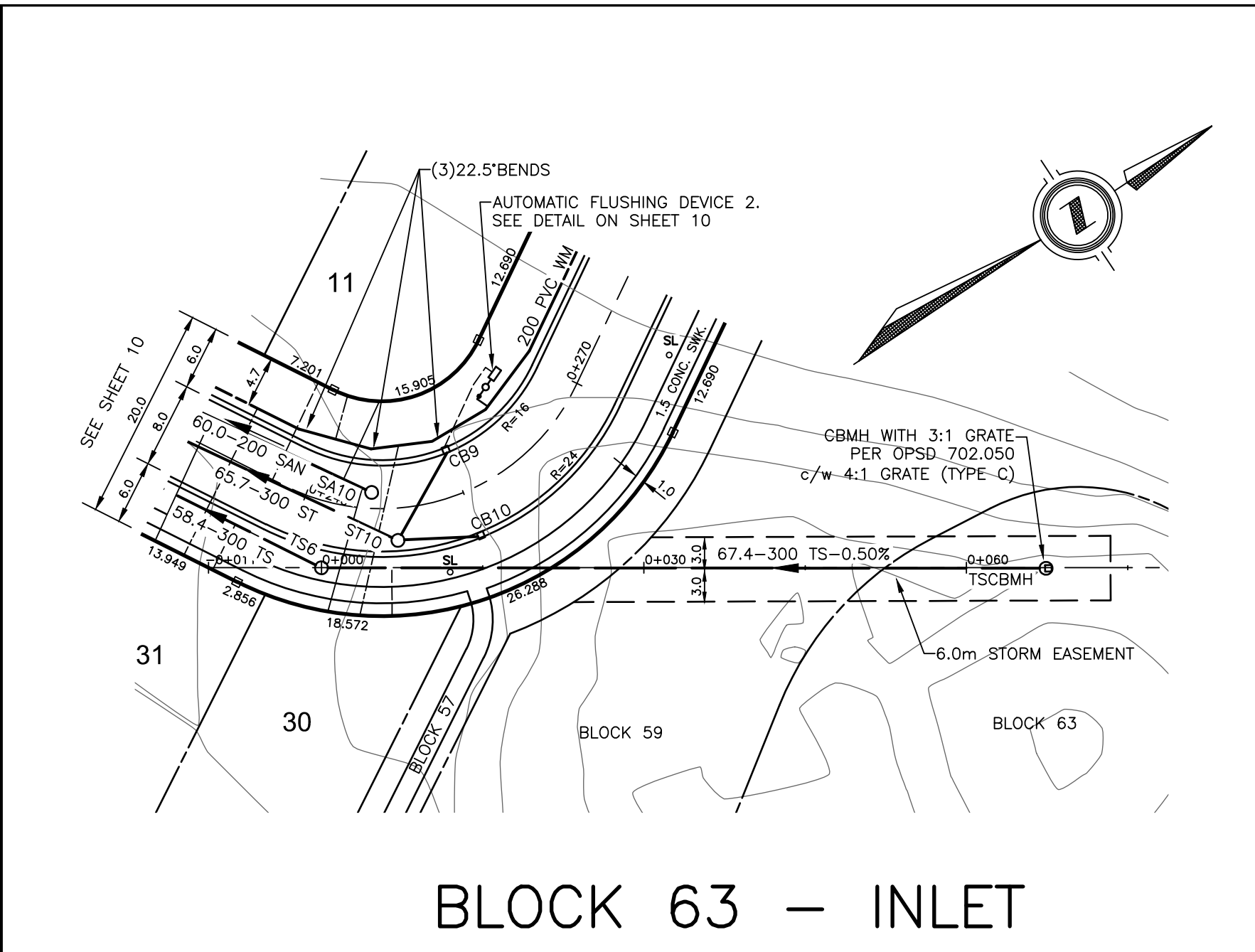
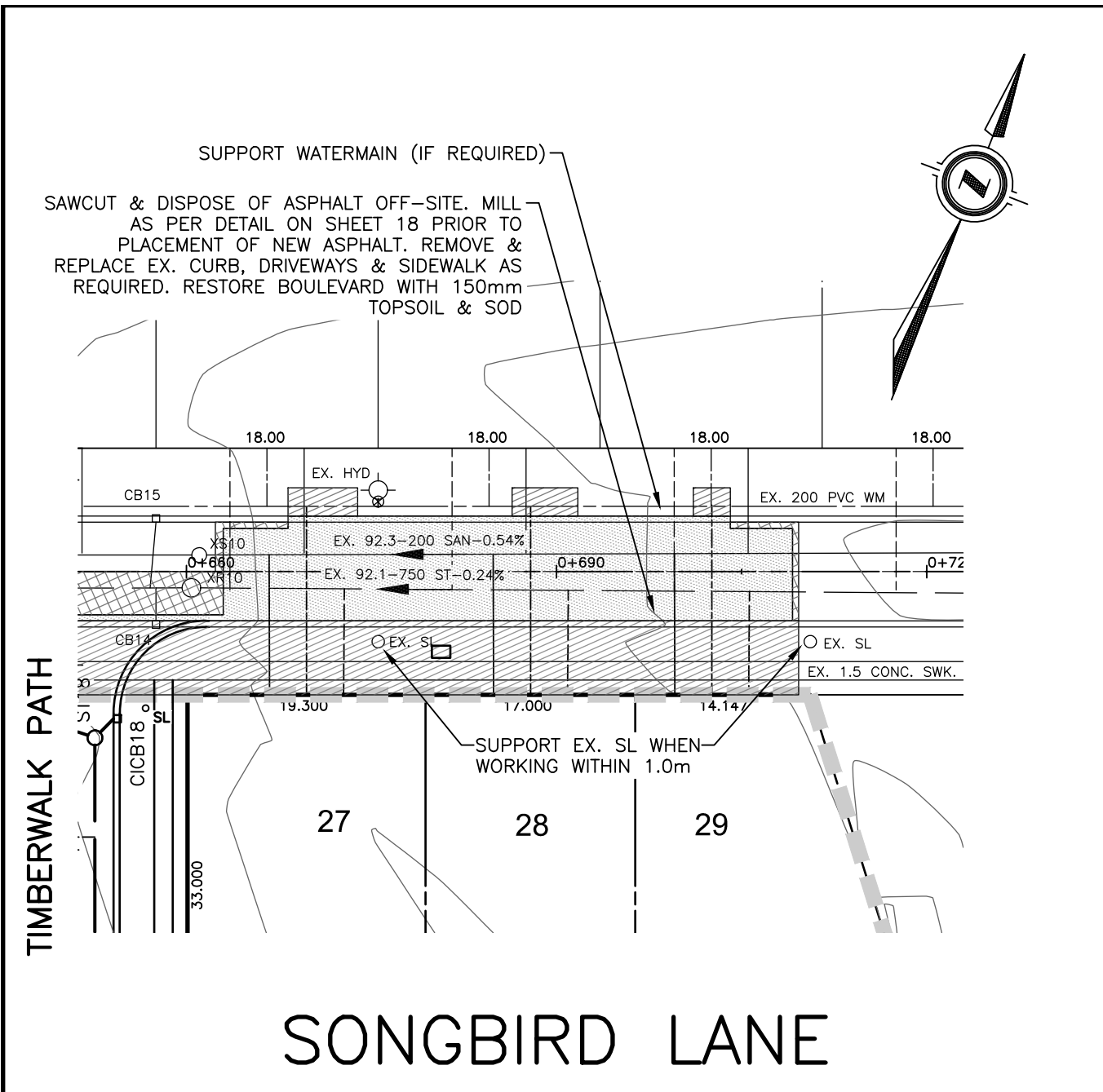
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 VERTICAL - 1:50  
 0.5 0 1.0m

TITLE  
 TIMBERWALK SUBDIVISION - PHASE 5  
 ILBERTON ONTARIO  
 SIFTON PROPERTIES LIMITED

PROJECT No.  
 D0007P5

SHEET No.  
 12

PLAN FILE No.



OWNER'S CONTRACTOR TO INSTALL CLAY COLLARS ON SANITARY SEWER IN WET CONDITIONS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. SEE DETAIL ON SHEET 20.

NOTE: SWEEP BEND CONNECTIONS SHALL BE PROVIDED FOR ALL STORM PDC'S WHERE CONFLICTS ARE ENCOUNTERED BETWEEN THE PDC'S AND PROPOSED WATERMAIN. CONTRACTOR SHALL SCHEDULE WATERMAIN INSTALLATION ACCORDINGLY IN SOME AREAS TO ENSURE THAT PDC'S CROSS AT A MINIMUM 0.50m ABOVE OR 0.15m BELOW WATERMAIN WHILE MAINTAINING 1.5m COVER AT PROPERTY LINE.

CATCHBASIN AND MANHOLE LIDS TO BE SET TO BASE ASPHALT

REFER TO SHEETS 18 & 19 DETAILS AND A LIST OF APPLICABLE MUNICIPALITY OF MIDDLESEX CENTRE STANDARDS FOR SEWERS, WATER & ROADS.

STORM & SANITARY STUBS SHALL HAVE SEALED, WATERTIGHT CAPS

SEE PAVEMENT STRUCTURE DETAIL ON SHEET 20

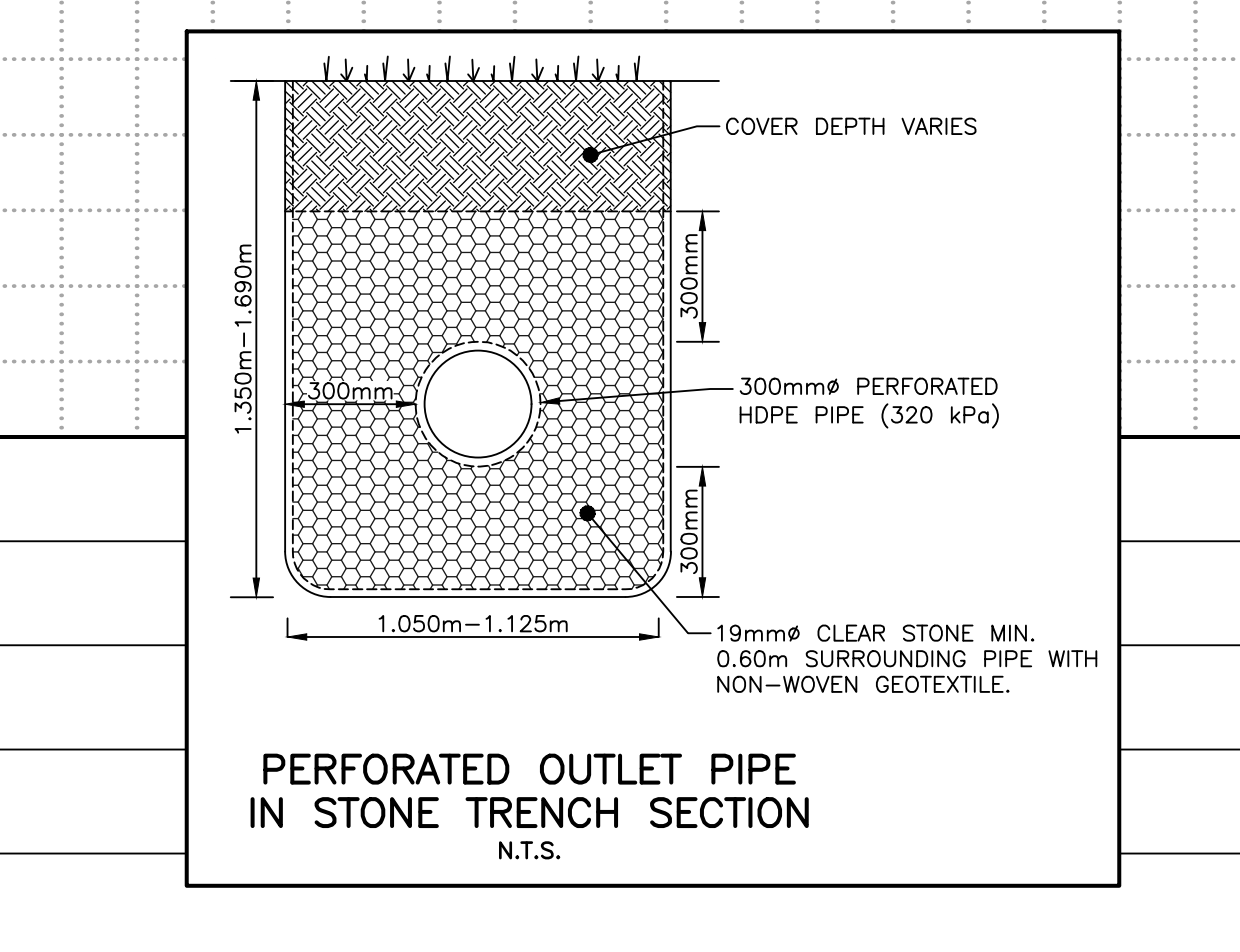
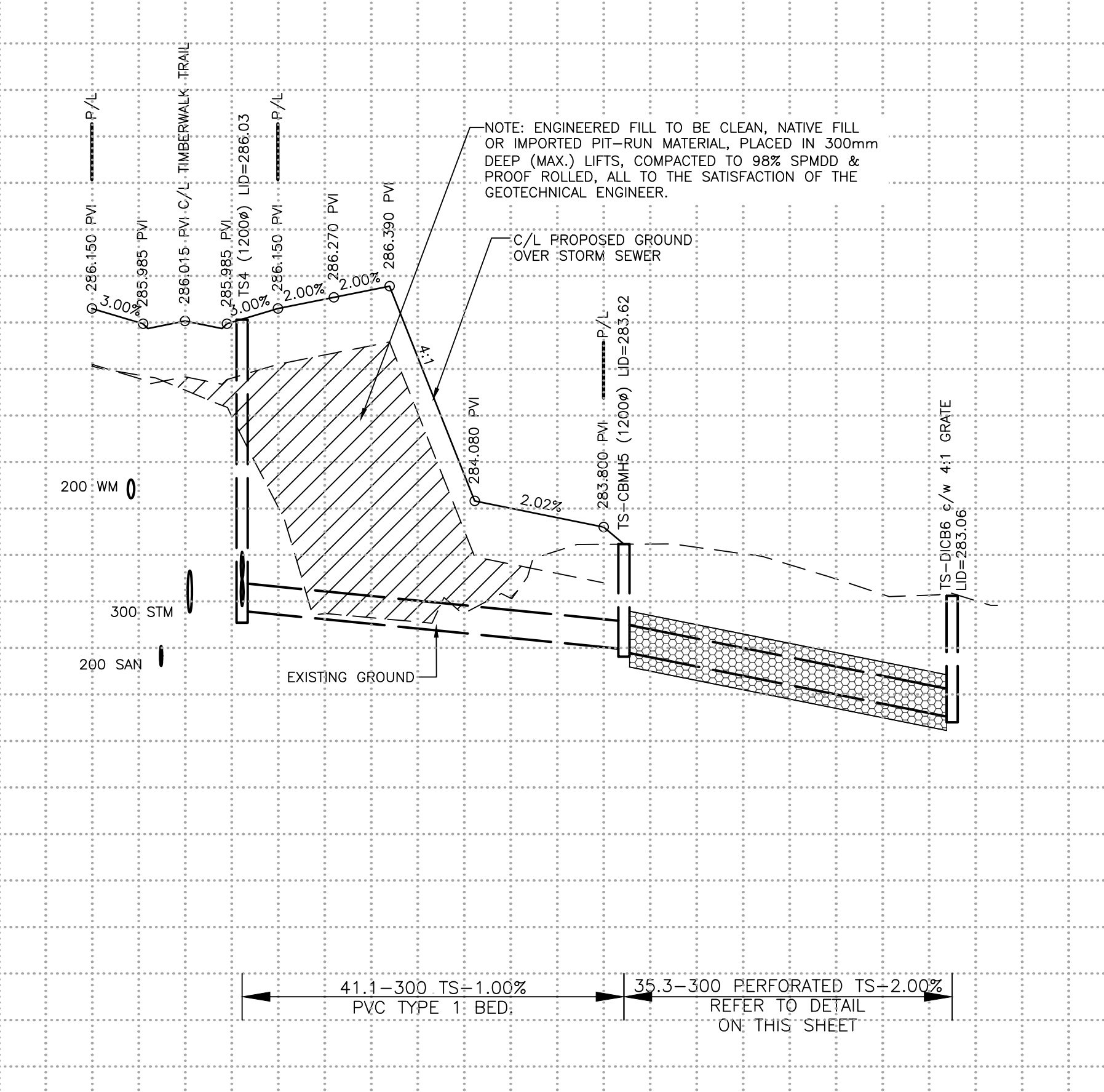
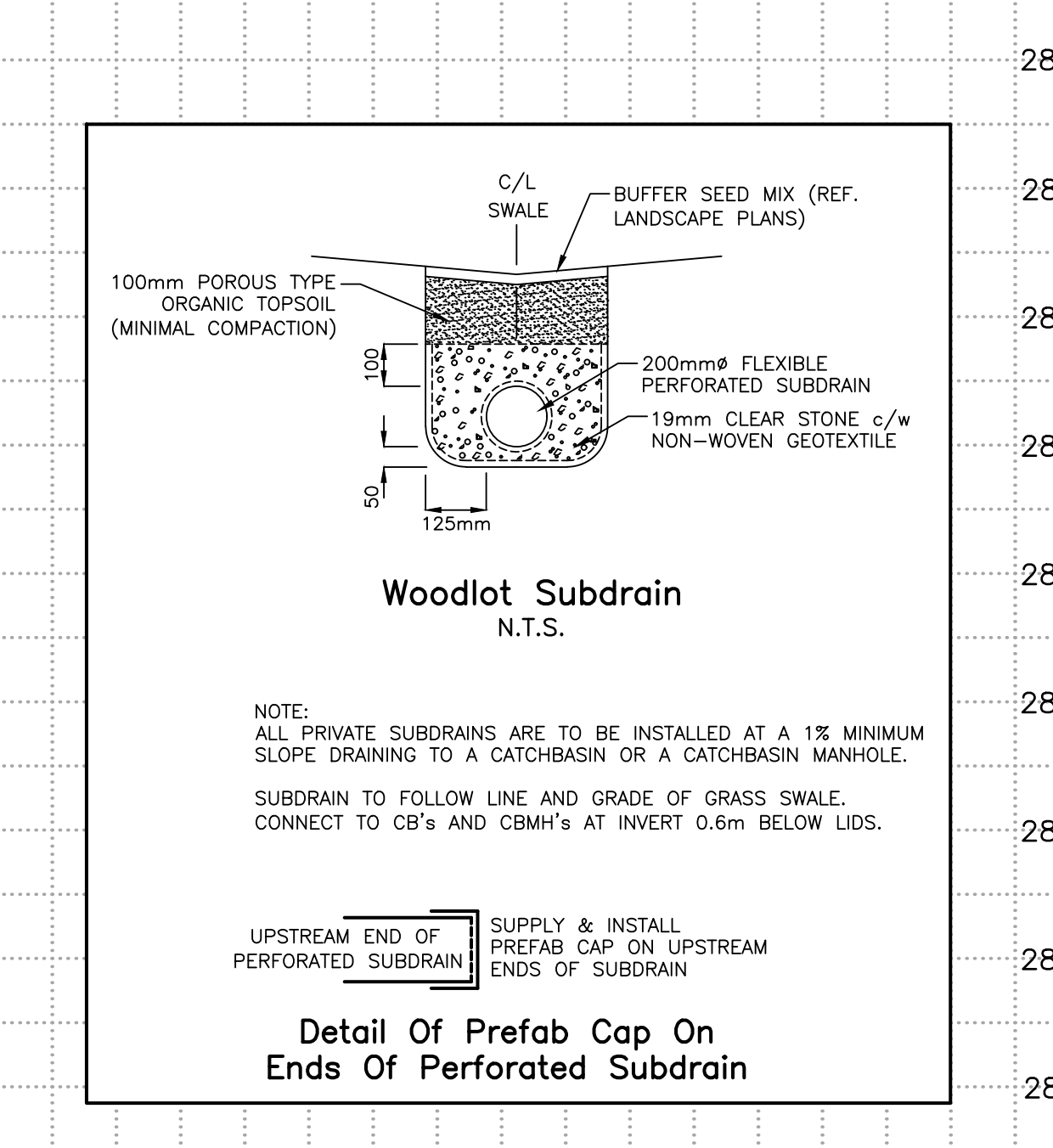
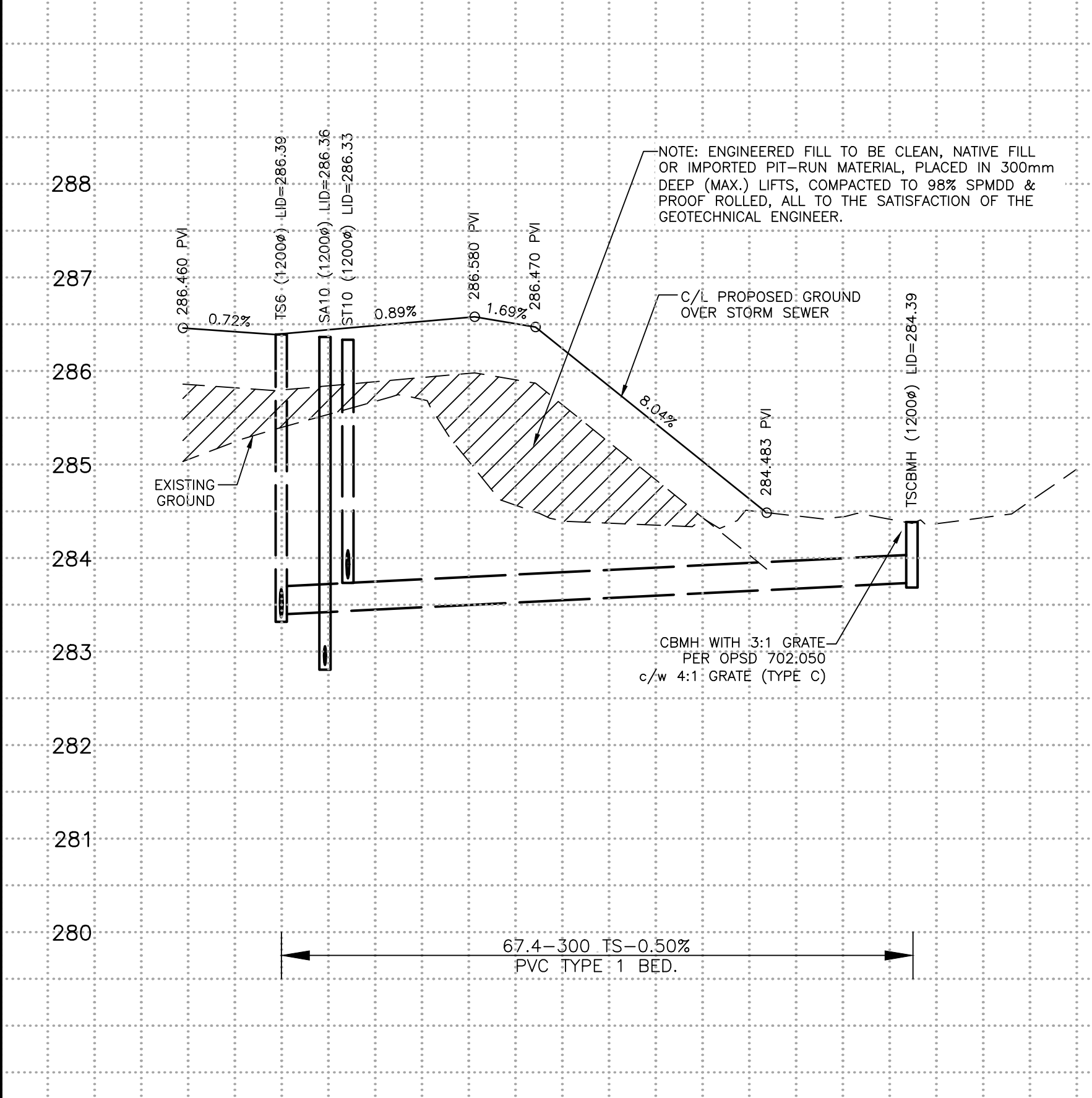
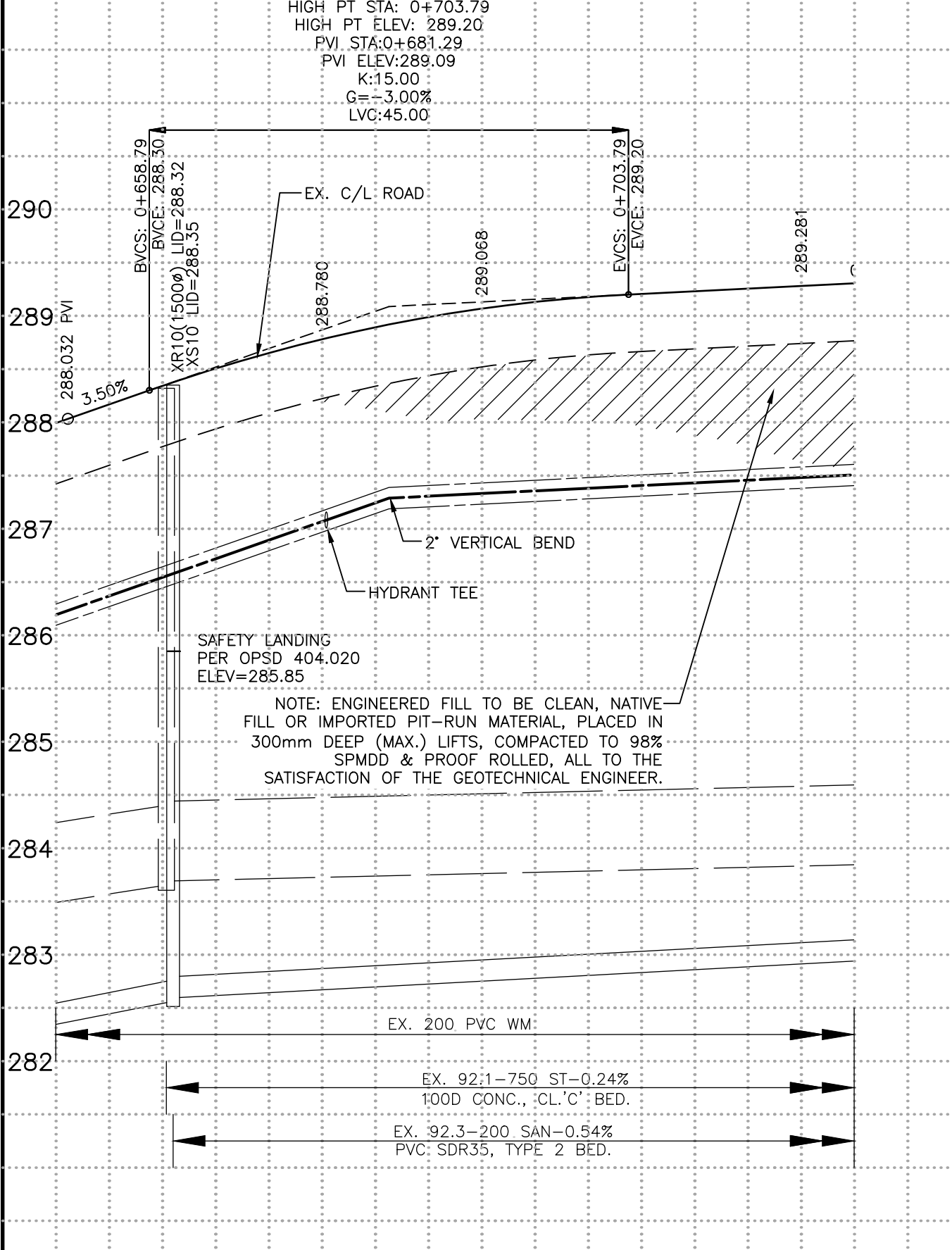
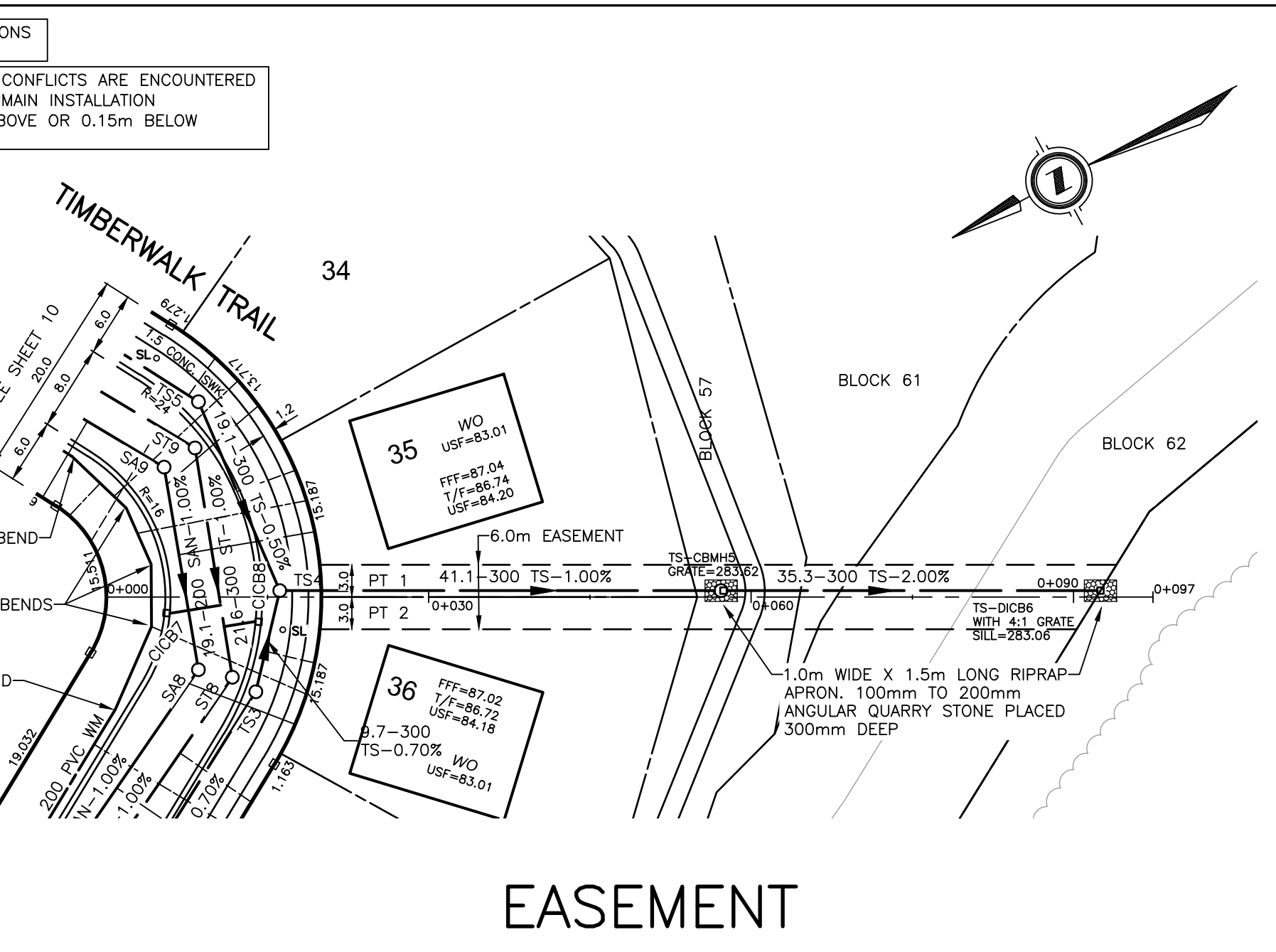
INSTALL PARSON MANHOLE INSERTS IN ALL SANITARY MANHOLES

REFER TO GRADING PLANS FOR ASPHALT ELEVATIONS AT INTERSECTIONS.

OWNER'S CONTRACTOR SHALL OBTAIN LOCATES AND CONFIRM LOCATION AND ELEVATION OF ALL EXISTING SERVICES AND UTILITIES.

**ACCEPTED**  
October 28, 2022

OWNER'S CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT 3RD PIPE SEWER AND STONE OUTLET TRENCH FROM SILT INTRUSION DURING CONSTRUCTION. FAILURE TO PROVIDE ADEQUATE PROTECTION RESULTING IN LOWERED SYSTEM PERFORMANCE WILL REQUIRE REMOVAL AND REINSTATEMENT OF THE STONE TRENCH AT THE CONTRACTOR'S EXPENSE.



STATION	EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION
0+657.42					
0+660.15					
0+661.11					
0+675.00					
0+675.92					
0+681.29					
0+690.00					
0+705.00					
0+720.00					

STATION	EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION
0+015.00					
0+000.00					
0+015.00					
0+030.00					
0+045.00					
0+060.00					
0+075.00					
0+090.00					
0+105.00					

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION

NO.	REVISIONS	DATE	CONSULTANT
1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG
3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG
4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG
6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG
7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG
8	ISSUED FOR SIXTH SUBMISSION	SEP. 28/22	DEVENG
9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

ENGINEER'S STAMP

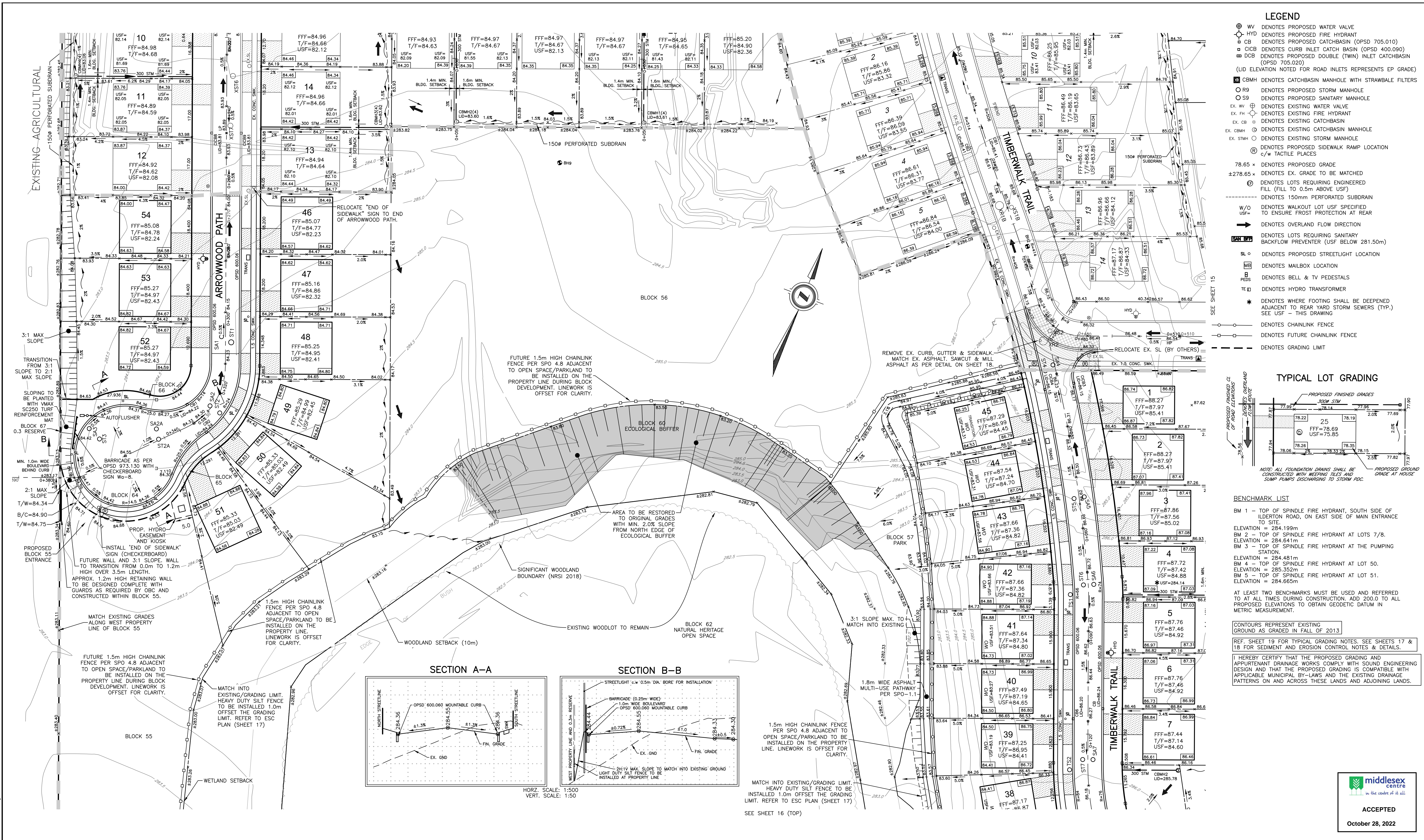
**middlesex centre**  
in the centre of it all

ACCEPTED  
October 28, 2022

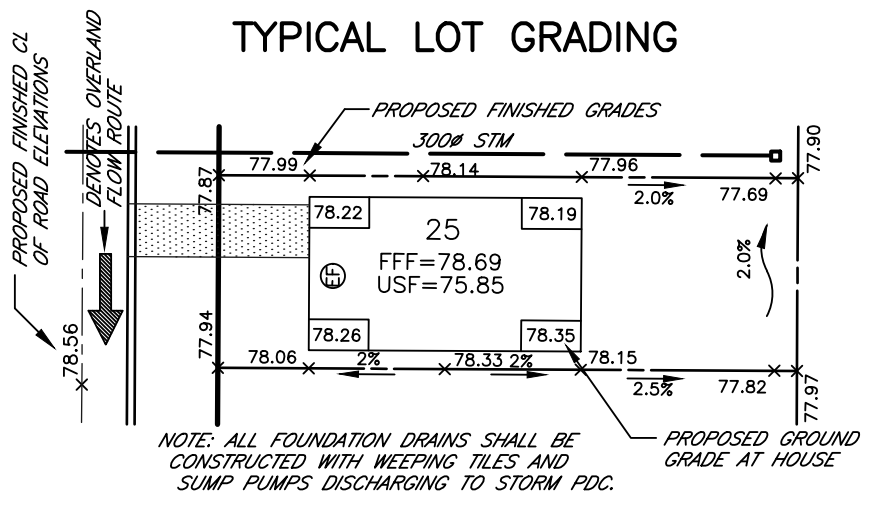
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HORIZONTAL - 1:500  
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VERTICAL - 1:50  
0.5 0 1.0m

TITLE  
**TIMBERWALK SUBDIVISION - PHASE 5**  
ILDERTON ONTARIO  
SIFTON PROPERTIES LIMITED  
**SONGBIRD LANE**  
FROM TIMBERWALK PATH  
TO 65m EAST OF TIMBERWALK PATH  
**BLOCK 63 - INLET**  
EASEMENT - LOTS 35 & 36

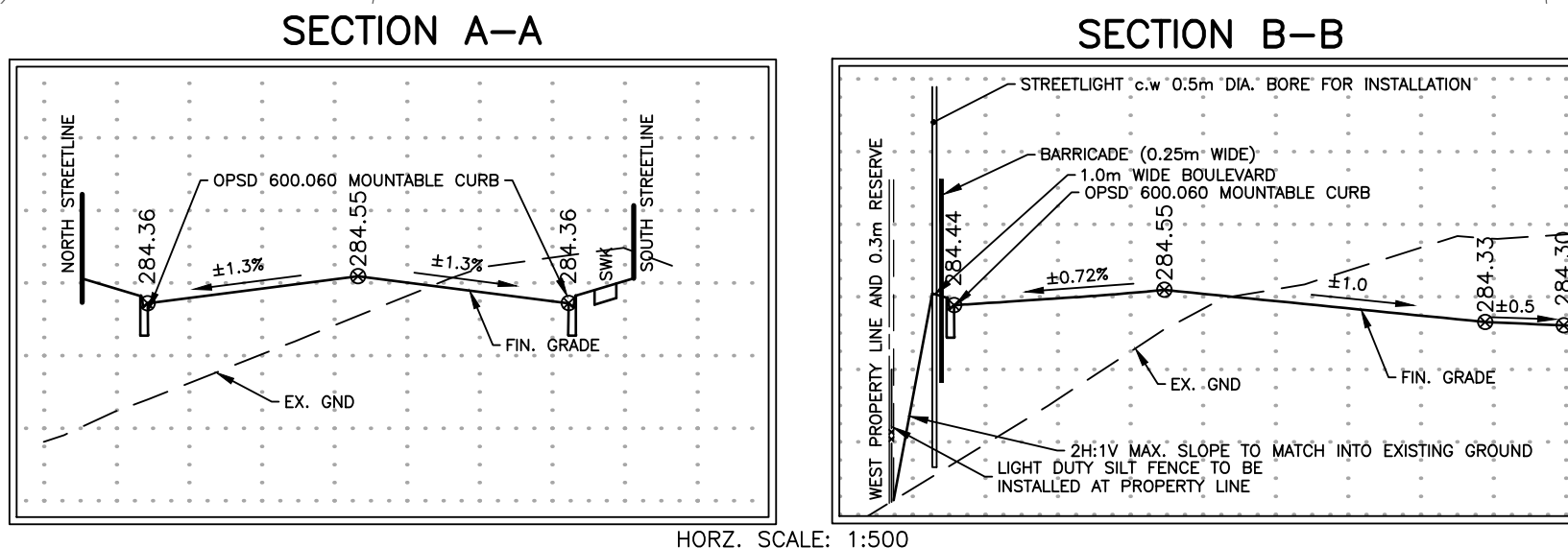
PROJECT No. D0007P5  
SHEET No. 13  
PLAN FILE No.



- ### LEGEND
- ⊕ WV DENOTES PROPOSED WATER VALVE
  - ⊕ HYD DENOTES PROPOSED FIRE HYDRANT
  - ⊕ CB DENOTES PROPOSED CATCHBASIN (OPSD 705.010)
  - ⊕ CIB DENOTES CURB INLET CATCH BASIN (OPSD 400.090)
  - ⊕ DCB DENOTES PROPOSED DOUBLE (TWIN) INLET CATCHBASIN (OPSD 705.020)
  - (LID ELEVATION NOTED FOR ROAD INLETS REPRESENTS EP GRADE)
  - ⊕ CBMH DENOTES CATCHBASIN MANHOLE WITH STRAWBALE FILTERS
  - R9 DENOTES PROPOSED STORM MANHOLE
  - S9 DENOTES PROPOSED SANITARY MANHOLE
  - EX. WV ⊕ DENOTES EXISTING WATER VALVE
  - EX. HYD ⊕ DENOTES EXISTING FIRE HYDRANT
  - EX. CB ⊕ DENOTES EXISTING CATCHBASIN
  - EX. CBMH ⊕ DENOTES EXISTING CATCHBASIN MANHOLE
  - EX. STMH ⊕ DENOTES EXISTING STORM MANHOLE
  - ⊕ DENOTES PROPOSED SIDEWALK RAMP LOCATION c/w TACTILE PLACES
  - 78.65 x DENOTES PROPOSED GRADE
  - ±278.65 x DENOTES EX. GRADE TO BE MATCHED
  - ⊕ DENOTES LOTS REQUIRING ENGINEERED FILL (FILL TO 0.5m ABOVE USF)
  - DENOTES 150mm PERFORATED SUBDRAIN
  - W/O USF DENOTES WALKOUT LOT USF SPECIFIED TO ENSURE FROST PROTECTION AT REAR
  - DENOTES OVERLAND FLOW DIRECTION
  - ⊕ SAN BPS DENOTES LOTS REQUIRING SANITARY BACKFLOW PREVENTER (USF BELOW 281.50m)
  - SL ⊕ DENOTES PROPOSED STREETLIGHT LOCATION
  - MB DENOTES MAILBOX LOCATION
  - BPS DENOTES BELL & TV PEDESTALS
  - TE ⊕ DENOTES HYDRO TRANSFORMER
  - \* DENOTES WHERE FOOTING SHALL BE DEEPENED ADJACENT TO REAR WALK STORM SEWERS (TYP.) SEE USF - THIS DRAWING
  - DENOTES CHAINLINK FENCE
  - DENOTES FUTURE CHAINLINK FENCE
  - DENOTES GRADING LIMIT



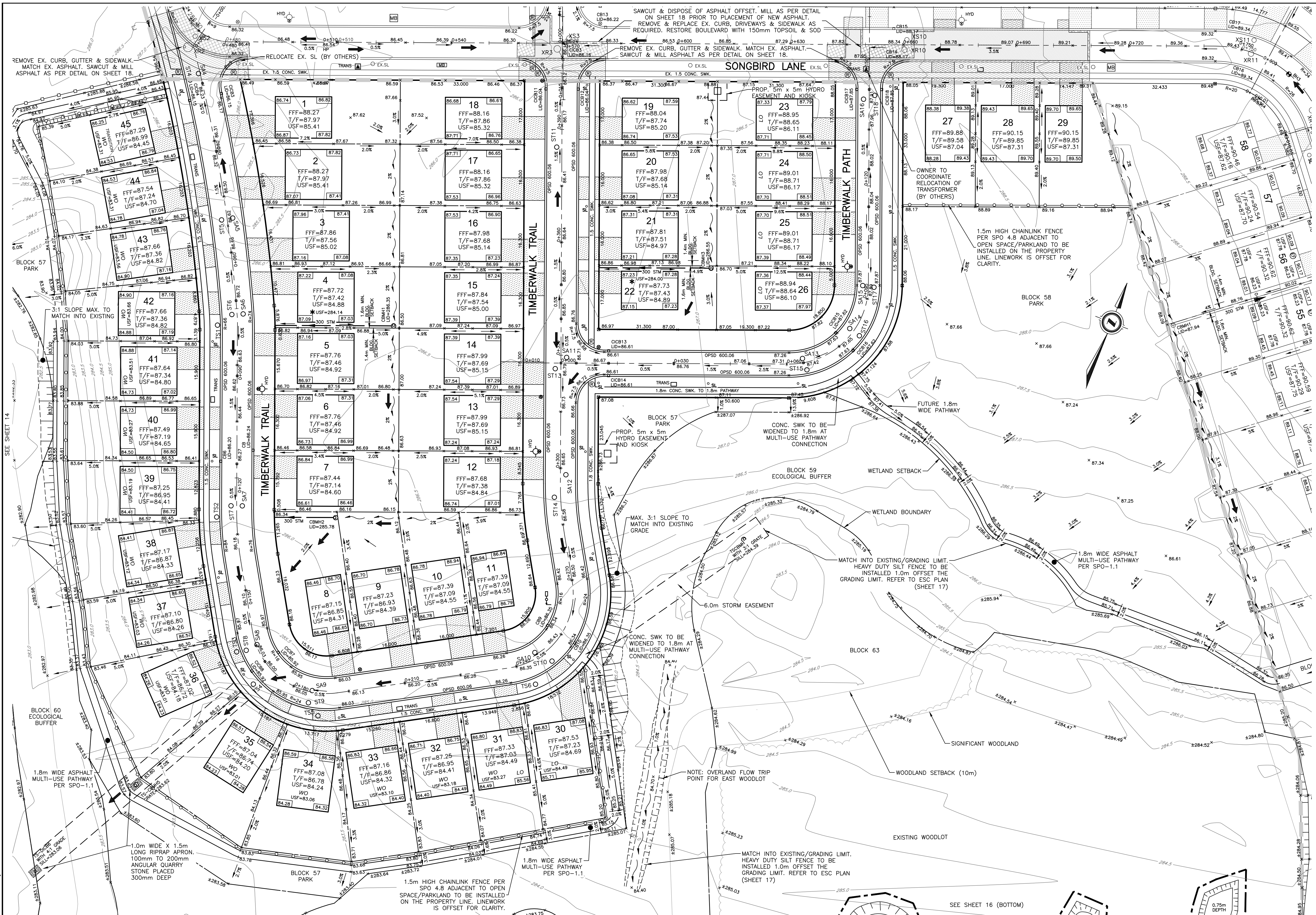
- ### BENCHMARK LIST
- BM 1 - TOP OF SPINDLE FIRE HYDRANT, SOUTH SIDE OF ILDERTON ROAD, ON EAST SIDE OF MAIN ENTRANCE TO SITE.  
ELEVATION = 284.199m
  - BM 2 - TOP OF SPINDLE FIRE HYDRANT AT LOTS 7/8.  
ELEVATION = 284.641m
  - BM 3 - TOP OF SPINDLE FIRE HYDRANT AT THE PUMPING STATION.  
ELEVATION = 284.481m
  - BM 4 - TOP OF SPINDLE FIRE HYDRANT AT LOT 50.  
ELEVATION = 285.352m
  - BM 5 - TOP OF SPINDLE FIRE HYDRANT AT LOT 51.  
ELEVATION = 284.665m
- AT LEAST TWO BENCHMARKS MUST BE USED AND REFERRED TO AT ALL TIMES DURING CONSTRUCTION. ADD 200.0 TO ALL PROPOSED ELEVATIONS TO OBTAIN GEODETIC DATUM IN METRIC MEASUREMENT.
- CONTOURS REPRESENT EXISTING GROUND AS GRADED IN FALL OF 2013
- REF. SHEET 19 FOR TYPICAL GRADING NOTES. SEE SHEETS 17 & 18 FOR SEDIMENT AND EROSION CONTROL NOTES & DETAILS.
- I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS COMPATIBLE WITH APPLICABLE MUNICIPAL BY-LAWS AND THE EXISTING DRAINAGE PATTERNS ON AND ACROSS THESE LANDS AND ADJOINING LANDS.



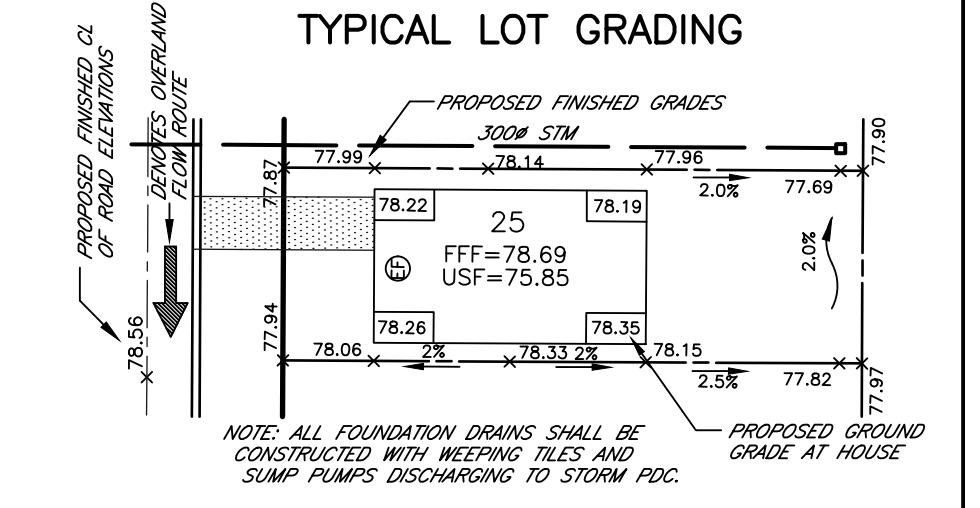
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					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG	41 Adelaide St. N., Unit 71 (519) 672-0310  <b>development engineering</b> (London) Limited  CONSULTING CIVIL ENGINEERS				
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG					
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG					
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG					
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG					
						7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG					
						8	ISSUED FOR SIXTH SUBMISSION	SEP. 28/22	DEVENG					
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG					

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- ### LEGEND
- ⊕ WV DENOTES PROPOSED WATER VALVE
  - ⊕ HYD DENOTES PROPOSED FIRE HYDRANT
  - ⊕ CB DENOTES PROPOSED CATCHBASIN (OPSD 705.010)
  - ⊕ CIB DENOTES CURB INLET CATCH BASIN (OPSD 400.090)
  - ⊕ DCB DENOTES PROPOSED DOUBLE (TWIN) INLET CATCHBASIN (OPSD 705.020)
  - (LID ELEVATION NOTED FOR ROAD INLETS REPRESENTS EP GRADE)
  - ⊕ CBMH DENOTES CATCHBASIN MANHOLE WITH STRAWBALE FILTERS
  - ⊕ OS9 DENOTES PROPOSED STORM MANHOLE
  - ⊕ R9 DENOTES PROPOSED SANITARY MANHOLE
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  - EX. CIB ⊕ DENOTES EXISTING CATCHBASIN
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  - EX. STMH ⊕ DENOTES EXISTING STORM MANHOLE
  - ⊕ DENOTES PROPOSED SIDEWALK RAMP LOCATION c/w TACTILE PLACES
  - 78.65 x DENOTES PROPOSED GRADE
  - ±278.65 x DENOTES EX. GRADE TO BE MATCHED
  - ⊕ DENOTES LOTS REQUIRING ENGINEERED FILL (FILL TO 0.5m ABOVE USF)
  - DENOTES 150mm PERFORATED SUBDRAIN
  - W/O --- DENOTES WALKOUT LOT USF SPECIFIED TO ENSURE FROST PROTECTION AT REAR
  - DENOTES OVERLAND FLOW DIRECTION
  - SAW DENOTES LOTS REQUIRING SANITARY BACKFLOW PREVENTER (USF BELOW 281.50m)
  - SL ⊕ DENOTES PROPOSED STREETLIGHT LOCATION
  - MB ⊕ DENOTES MAILBOX LOCATION
  - B ⊕ DENOTES BELL & TV PEDESTALS
  - TE ⊕ DENOTES HYDRO TRANSFORMER
  - \* DENOTES WHERE FOOTING SHALL BE DEEPENED ADJACENT TO REAR YARD STORM SEWERS (TYP.) SEE USF - THIS DRAWING
  - ⊕ DENOTES CHAINLINK FENCE
  - ⊕ DENOTES FUTURE CHAINLINK FENCE
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CONTOURS REPRESENT EXISTING GROUND AS GRADED IN FALL OF 2013

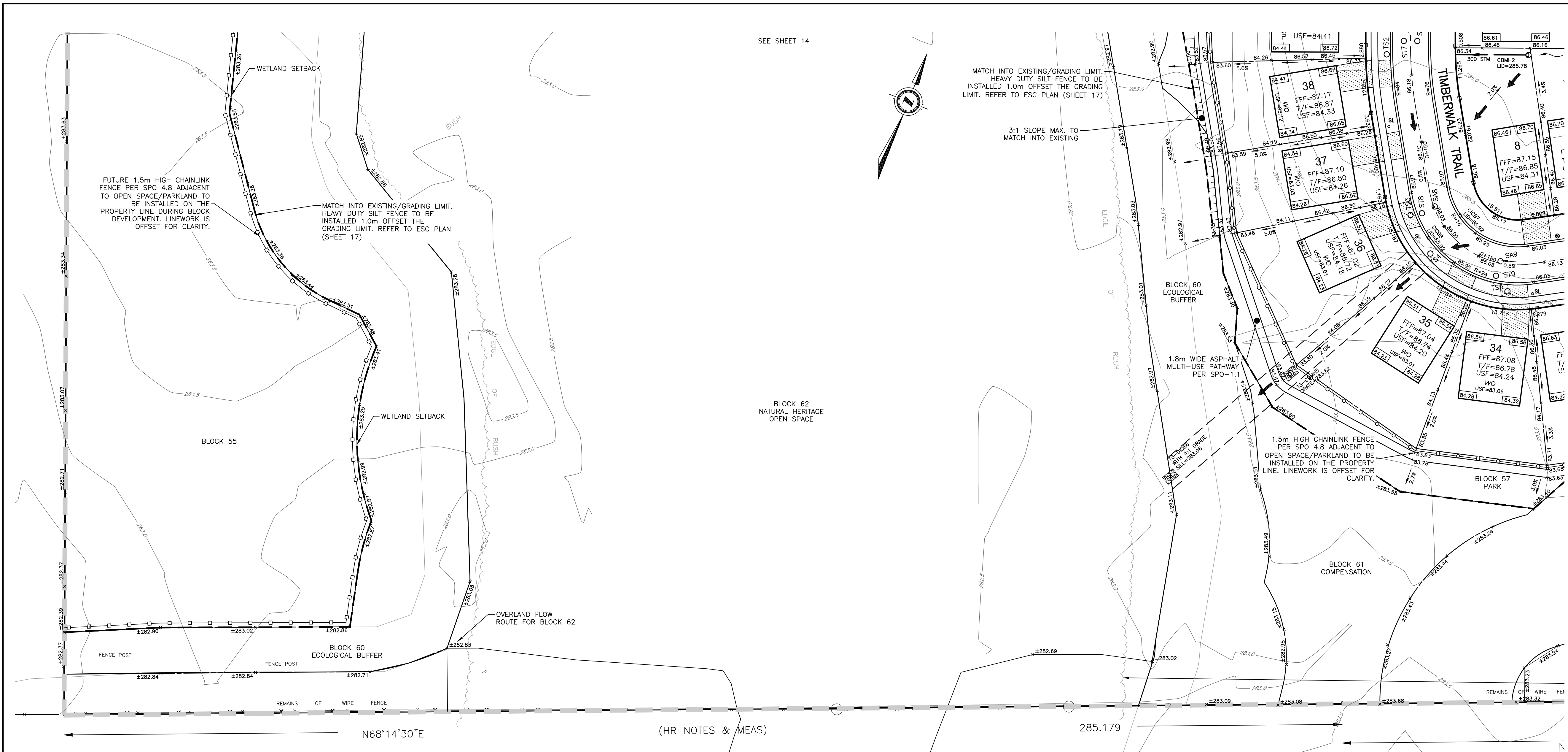
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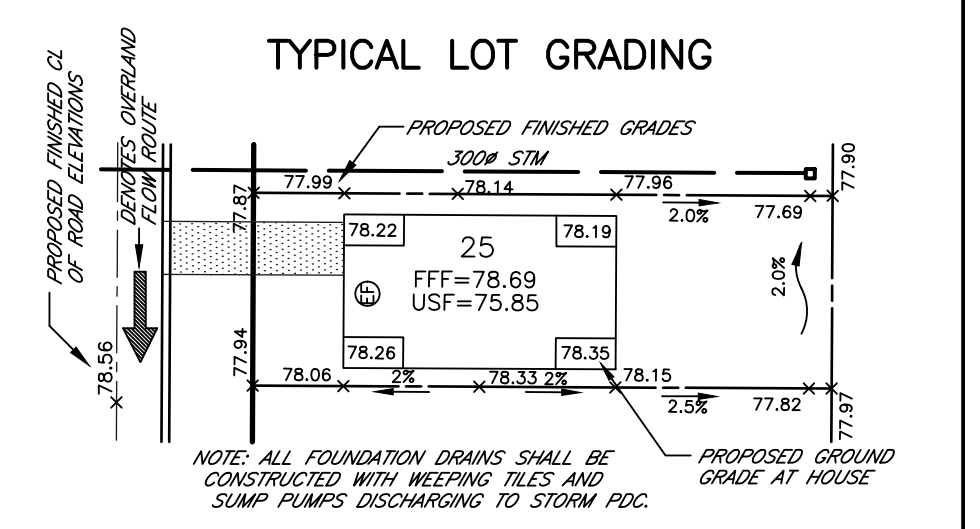
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				CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG						
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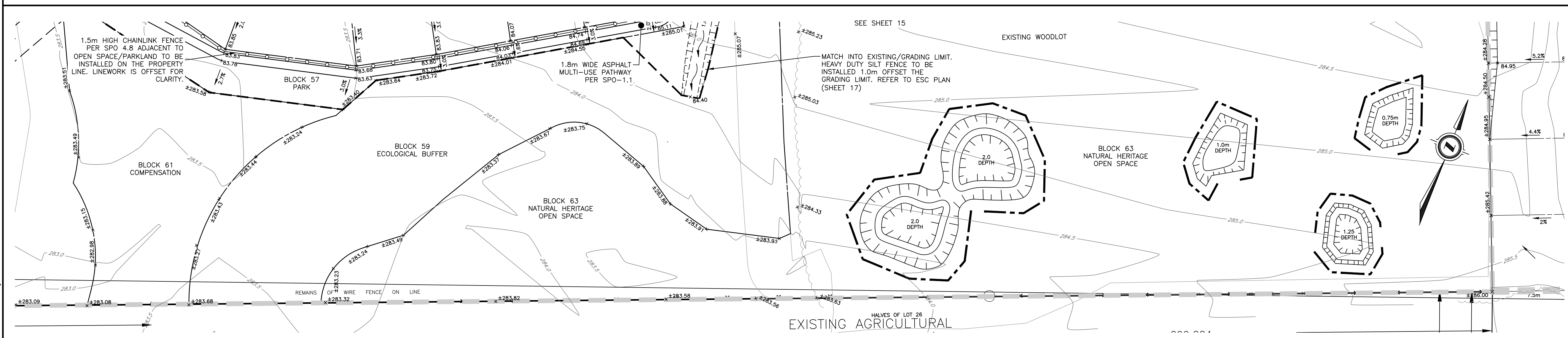
**ACCEPTED**  
October 28, 2022



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**ACCEPTED**  
October 28, 2022

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						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

CONSULTANT OR DIVISION London Office 41 Adelaide St. N., Unit 71 (519) 672-8310 Paris Office 31 Mechanic St., Unit 301 (519) 442-1441	<p>CONSULTING CIVIL ENGINEERS</p>	ENGINEER'S STAMP 	<p>in the centre of it all</p>	SCALE SCALE - 1 : 500 	TITLE <b>TIMBERWALK SUBDIVISION - PHASE 5</b> ILBERTON ONTARIO SIFTON PROPERTIES LIMITED  <b>LOT GRADING PLAN 3</b>	PROJECT No. <b>D0007P5</b> SHEET No. <b>16</b> PLAN FILE No.
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**CONSTRUCTION NOTES FOR THE SERVICING CONTRACTOR**

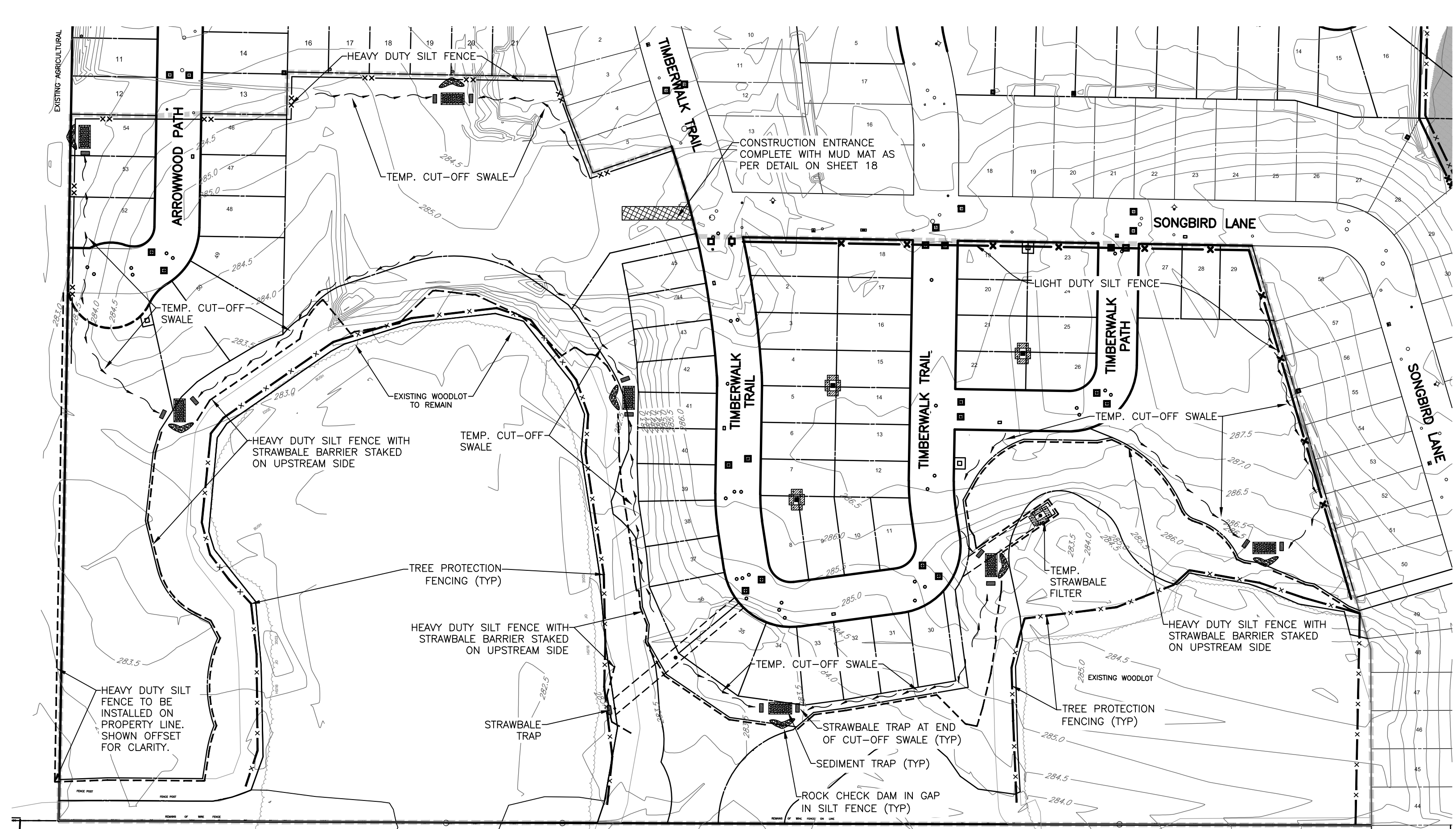
1. The Contractor shall take precautions to avoid damage to existing servicing and surfaces not designated for removal. Any damage shall be repaired and restoration completed at the expense of the Contractor.
2. Prior to initiating site works, the Contractor shall obtain locates for all existing underground utilities within the area of construction. The Contractor shall be responsible for the cost of repair or replacement of any utilities damaged or disturbed during construction, and shall immediately contact the appropriate utility owner upon such occurrence.
3. Where utility crossings are required, the Contractor shall undertake appropriate measures for the temporary support of such utilities in accordance with the requirements of the utility owner until such time as backfilling and compaction are complete.
4. Prior to construction, the Contractor shall check and verify all site benchmarks, elevations, service inverts, grades, and dimensions and immediately report any discrepancies to the Engineer.
5. Prior to construction, an approved set of plans and specifications shall be available on the job site and shall remain on-site for the duration of construction. The Contractor shall verify with the Contract Administrator that the most current drawings are in circulation.
6. The Contractor shall be responsible for protection of all survey markers and monuments during construction. Any legal survey monuments which are disturbed during construction shall be replaced at the expense of the Contractor.
7. All works shall be undertaken in accordance with current Occupational Health and Safety Act requirements.
8. Prior to undertaking on-site earth works, the Contractor shall install all sediment controls relevant to the area of site disturbance.
9. The Contractor shall be responsible for regular monitoring and cleanup of tracked mud/debris on adjacent lands and public roads to the satisfaction of the Engineer and Municipality.
10. The Contractor shall take all reasonable measures to avoid mixing topsoil with subsoil where required for reuse on-site.
11. On-site surface drainage shall be maintained by the Contractor at all times. Erosion and sediment controls shall be applied where necessary to prevent uncontrolled release of sediment off-site. Where excavation dewatering is necessary, pump discharge shall be directed to stable, vegetated areas or dedicated sediment traps (OPSD 219.24) to the satisfaction of the Engineer.
12. The Contractor shall maintain an operations log of erosion & sediment control structure inspections throughout the project, with particular emphasis on control measures after rainfall events of 12mm or greater. Periodic removal of accumulated sediment shall be undertaken as necessary or at the expressed direction of the Engineer. All collected sediment shall be disposed of at an approved location at no extra cost to the contract.
13. Unless otherwise noted on the plans, geotextile for erosion control measures shall be non-woven to meet class 2-OPSS 1860.07.02 (i.e. Terrafix 270R, or approved equivalent) with 300mm min. overlaps.
14. Riprap armouring shall include 100mm to 200mm angular quarry stone (D50=150mm) placed 300mm deep (typ.) unless otherwise noted on the plans. An underlay of non-woven Terrafix 270R geotextile or approved equivalent (class 2-OPSS 1860.07.02) shall be provided with 300mm min. overlaps in the down gradient direction. Leading edge boundaries shall be properly anchored & keyed into subsoil to prevent undercutting.
15. Topsoil windrows shall be constructed separately from subsoil stockpiles, and shall be located no closer than two (2) metres from any adjacent property boundary. Windrow Slopes shall generally be flatter than 3:1 (horizontal to vertical) and should generally not exceed 6 metres in height.
16. Temporary interceptor swales to be 600mm wide (min.) with 3:1 side slopes, and maintained until site pregrade is stabilized with temporary vegetation to the satisfaction of the engineer.
17. Sediment controls shall be implemented by the contractor in localized areas, as warranted, during construction phases, upon the direction of the engineer. Control approaches should be adaptable to reflect variable site conditions and circumstances.
18. The contractor shall prevent wind blown dust by periodic application of water.
19. Existing topographic information was obtained from a survey completed by Development Engineering (London) Limited.
20. For Geotechnical information refer to report no. LNSE0008182A prepared for this subdivision by Trow Associates, dated October 7, 2005.
21. All substitutions must be approved by the Engineer.
22. Filter cloth installed under all CB, CICB, DICB lids including regular maintenance grates until structures are set to final grade.

**SEDIMENT AND EROSION CONTROL NOTES**

1. Protect all exposed surfaces and control all runoff during construction.
2. All erosion control measures to be in place before starting construction and remain in place until restoration is complete.
3. Maintain erosion control measures during construction.
4. All collected sediment to be disposed of at an approved location.
5. Minimize area disturbed during construction.
6. All dewatering to be disposed of in an approved sedimentation basin. Any proposed dewatering plans to be sealed/signed by P.Eng and submitted to UTRCA for review and approval prior to implementation.
7. Protect all catchbasins, manholes and pipe ends from sediment intrusion with geotextile (Terrafix 270R or approved equivalent).
8. Keep all sumps clean during construction.
9. Prevent wind-blown dust.
10. Straw bales to be used in localized areas as shown and as directed by the Engineer during construction.
11. Straw bales to be terminated by rounding bales to contain and filter runoff.
12. Obtain approval from UTRCA before construction for works which are in, or adjacent to floodlines, fill lines, hazardous slopes and wetlands.
13. All silt fencing and details are at the minimum to be constructed in accordance with the Ministry of Natural Resources Guidelines on Erosion and Sediment Control for Urban Construction Sites.
14. All of the above notes and any sediment and erosion control measures are at a minimum to be in accordance the Ministry of Natural Resources Guidelines on Erosion and Sediment Control for Urban Construction Sites.

**LEGEND**

- EXISTING FENCE
- EX. GM ⊕ EXISTING GAS METER
- EX. GV ⊕ EXISTING GAS VALVE
- EX. GM ⊕ EXISTING GAS MAIN
- EX. BP ⊕ EXISTING BELL POLE
- EX. B.PED ⊕ EXISTING BELL PEDESTAL
- EX. B.MH ⊕ EXISTING BELL MANHOLE
- EX. HMH ⊕ EXISTING HYDRO MANHOLE
- J.B. ⊕ EXISTING JUNCTION BOX
- EX. HP/LS ⊕ EXISTING HYDRO POLE/LIGHT STANDARD
- EX. HP ⊕ EXISTING HYDRO POLE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING HEDGE
- EXISTING SHRUB
- OVERLAND FLOW DIRECTION
- TEMPORARY STRAWBALE FILTER
- TREE PRESERVATION FENCING
- LIGHT DUTY SILT FENCING
- HEAVY DUTY SILT FENCING
- HEAVY DUTY SILT FENCE WITH STRAWBALE BARRIER
- LIMIT OF PHASE 5
- TEMPORARY CONSTRUCTION MUD MAT
- ROCK FLOW CHECK DAM PER OPSD 219.211 (TYP.)
- 15mx7.5mx1.5m (UNLESS OTHERWISE SPECIFIED) EXCAVATED SEDIMENT TRAP PER OPSD 219.220
- TERRAFIX SILTSACK (OR APPROVED EQUIVALENT)
- STRAWBALE TRAP AT END OF CUT-OFF SWALE



THE OWNER'S CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SEDIMENT AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION, AND PROVIDING ADDITIONAL MEASURES AS REQUIRED TO SUIT TEMPORARY CONDITIONS, TO THE SATISFACTION OF THE ENGINEER AND CONTRACT ADMINISTRATOR. WHERE SEDIMENT AND EROSION CONTROL MEASURES ARE INSTALLED UNDER PREVIOUS PHASES, THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR REGULAR INSPECTION AND MAINTENANCE THROUGHOUT CONSTRUCTION.

THE OWNER'S CONTRACTOR SHALL MANAGE RUNOFF AND EROSION CONTROL MEASURES ACROSS THE SITE TO PREVENT EXCESSIVE SCOUR TO THE SATISFACTION OF THE ENGINEER THROUGHOUT CONSTRUCTION. ADDITIONAL EROSION CONTROL MEASURES SHALL BE APPLIED WHERE NECESSARY TO PREVENT UNCONTROLLED RELEASE OF SEDIMENT OFFSITE. DAILY INSPECTION LOG TO BE RECORDED BY OWNERS CONTRACTOR INCLUDING PHOTOS AS REQUIRED OF ANY REMEDIAL MAINTENANCE MEASURES (BEFORE AND AFTER).

THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR REGULAR MONITORING & CLEANUP OF TRACKED MUD/DEBRIS ON ADJACENT LANDS & PUBLIC ROADS TO THE SATISFACTION OF THE ENGINEER & MUNICIPALITY.

EROSION AND SEDIMENT CONTROL MEASURES MAY BE REMOVED BY THE CONTRACTOR AT A SUITABLE TIME DURING THE CONTRACT BASED UPON LEVEL OF STORM SERVICING UPON APPROVAL OF THE ENGINEER.

IN ACCORDANCE WITH CONTRACT REQUIREMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF WATER DURING ALL SITE WORKS PHASES (INCL. DEWATERING DISCHARGE, DIVERSION, ETC.) AT NO EXTRA COST TO THE CONTRACT. STAGING OR PHASING OF SITE WORKS MUST BE CAREFULLY PLANNED TO INCLUDE TEMPORARY MEASURES AS NECESSARY.

OWNER'S CONTRACTOR TO INSTALL SILT SACKS IN ALL CB, CICB, AND TICB LIDS. SEE SHEET 18 FOR EROSION AND SEDIMENT CONTROL DETAILS.

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EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
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CONSULTANT OR DIVISION  
 London Office  
 41 Adelaide St. N., Unit 71  
 (519) 672-5310

Paris Office  
 31 Mechanic St., Unit 301  
 (519) 442-1441

**development engineering**  
 (London) Limited  
 CONSULTING CIVIL ENGINEERS



SCALE  
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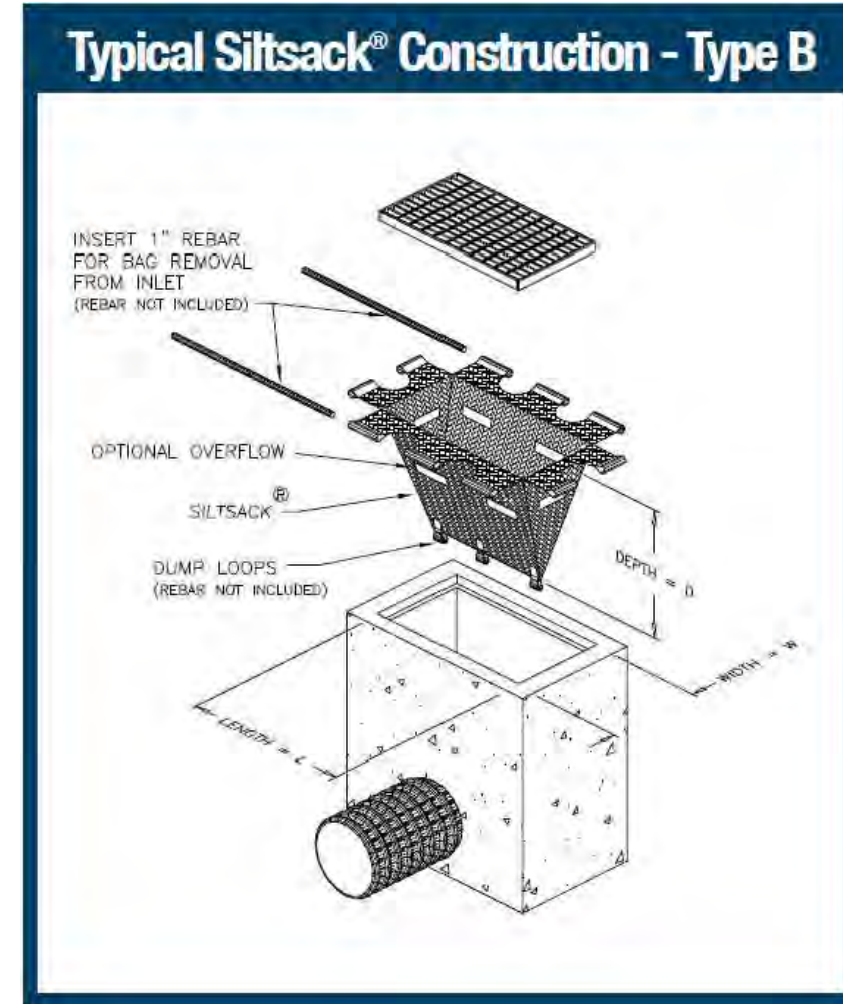
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 ILBERTON ONTARIO  
 SIFTON PROPERTIES LIMITED

PROJECT No.  
**D0007P5**

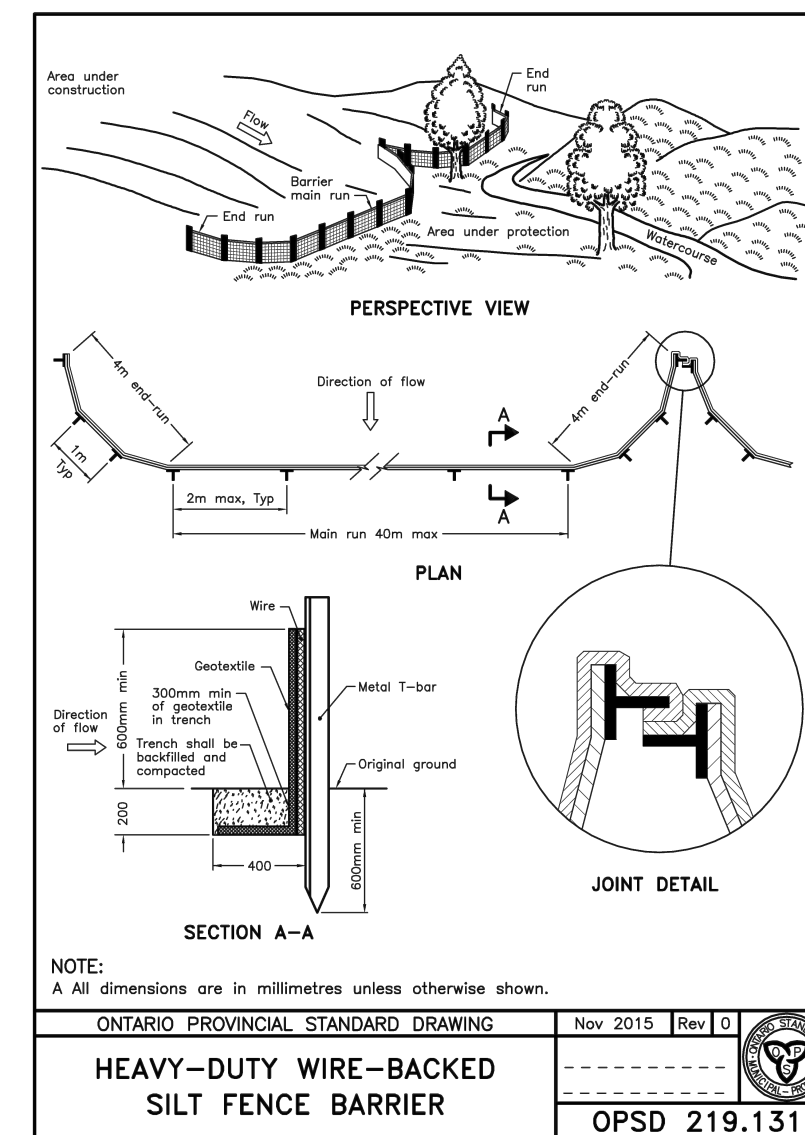
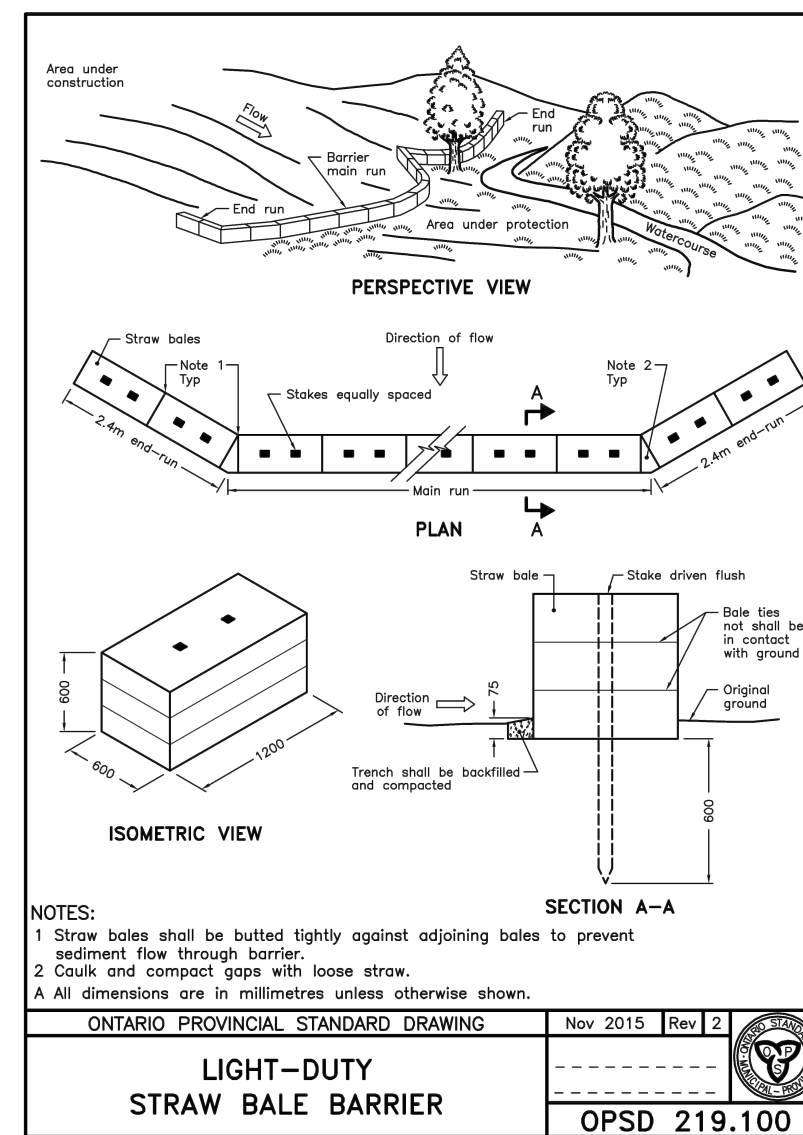
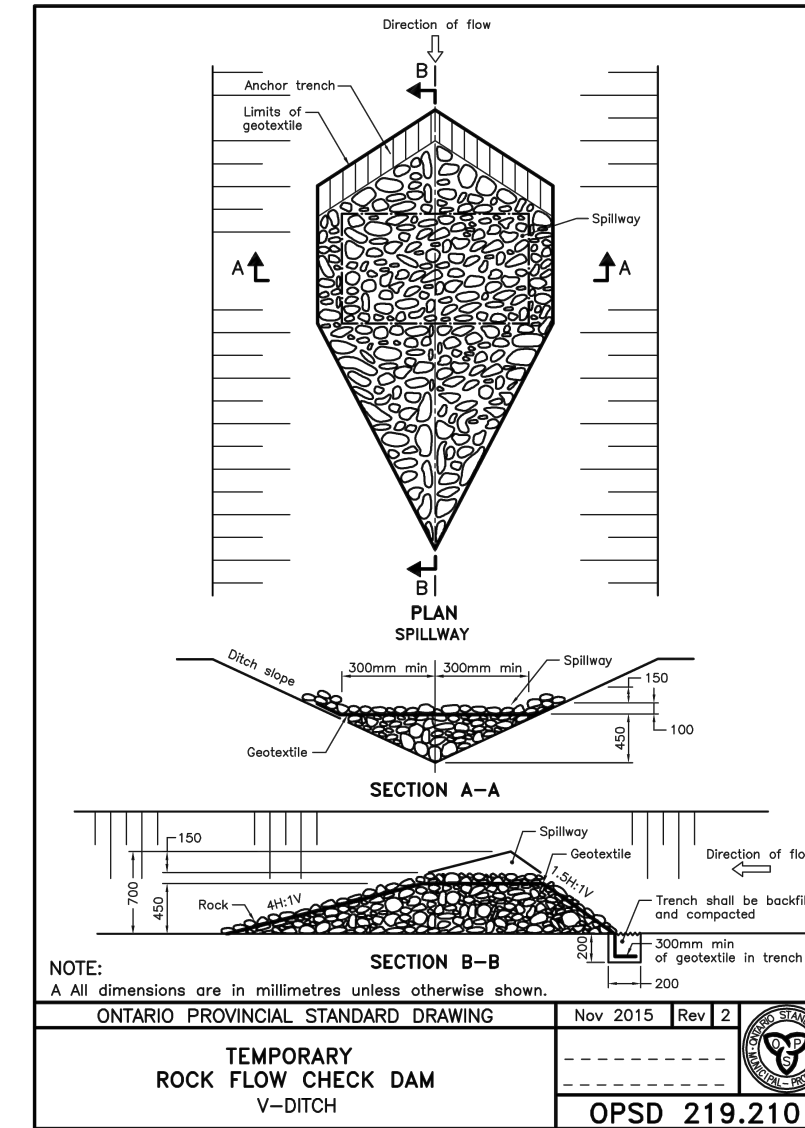
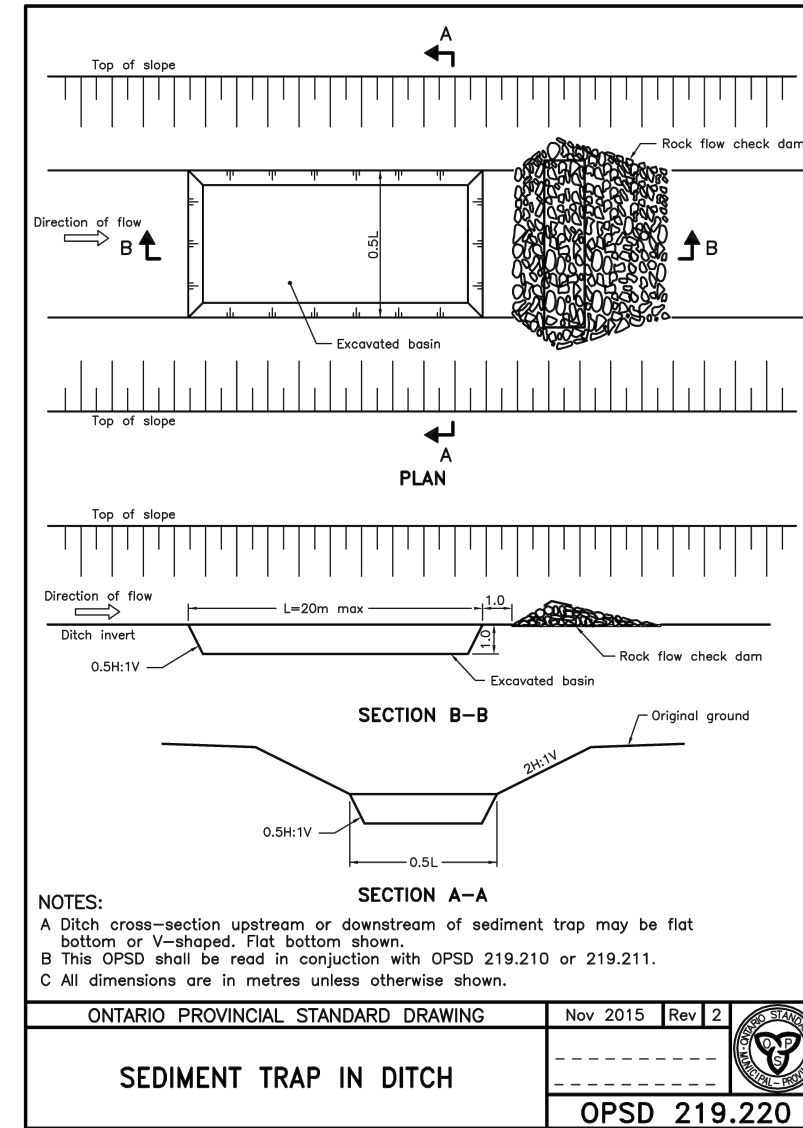
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PLAN FILE No.

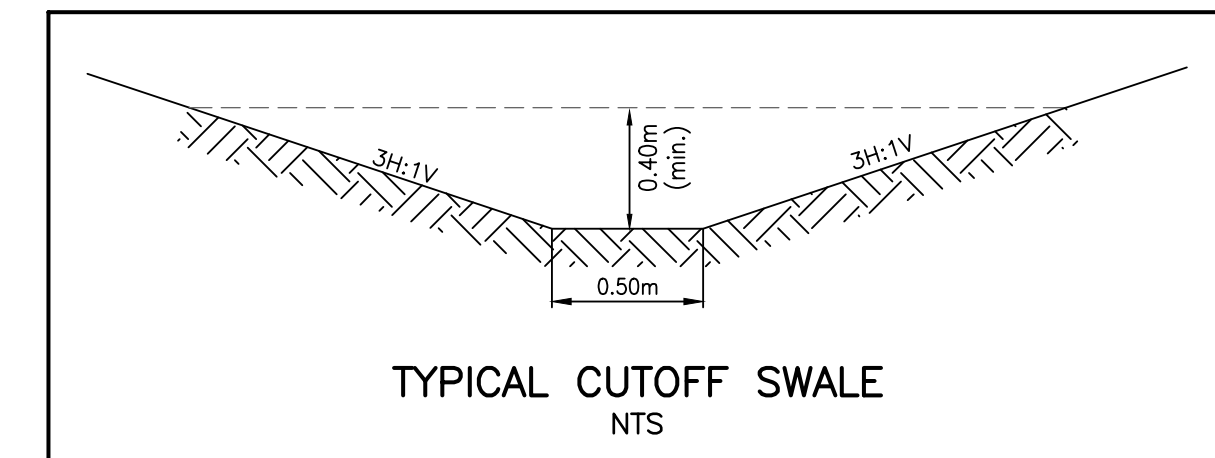
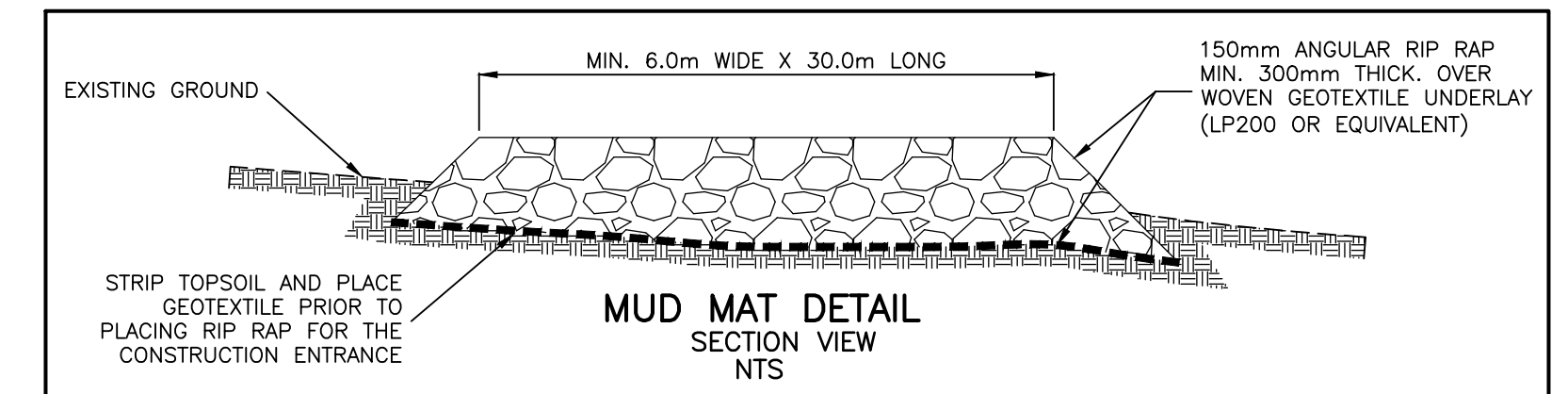
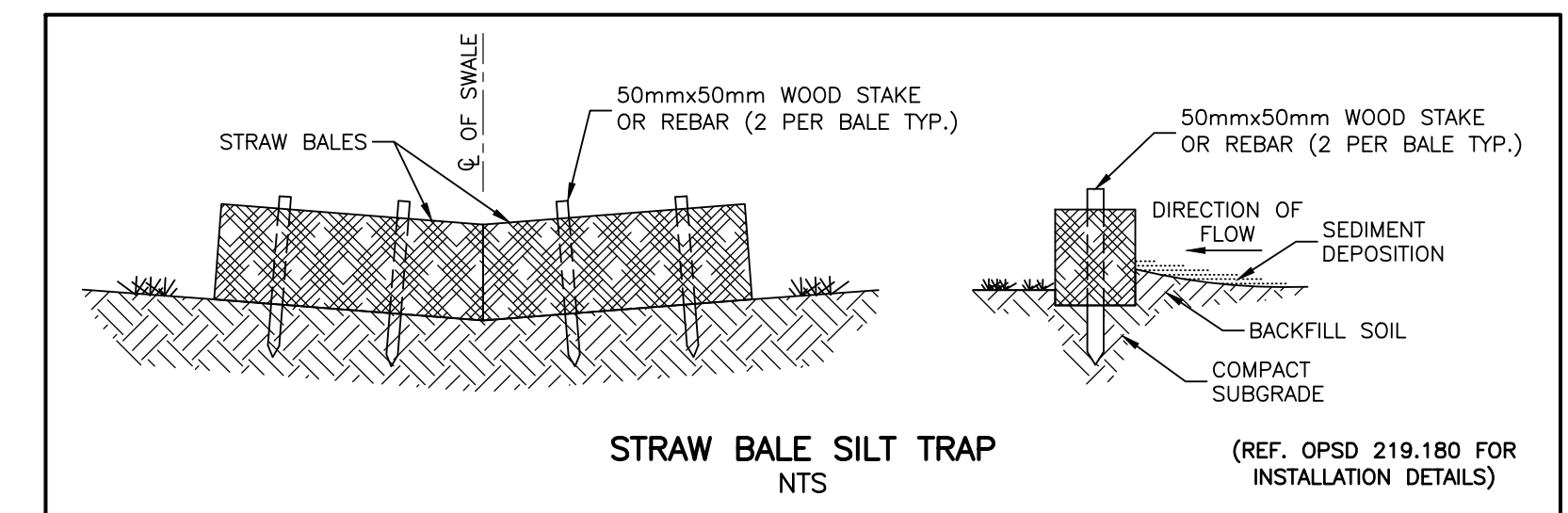
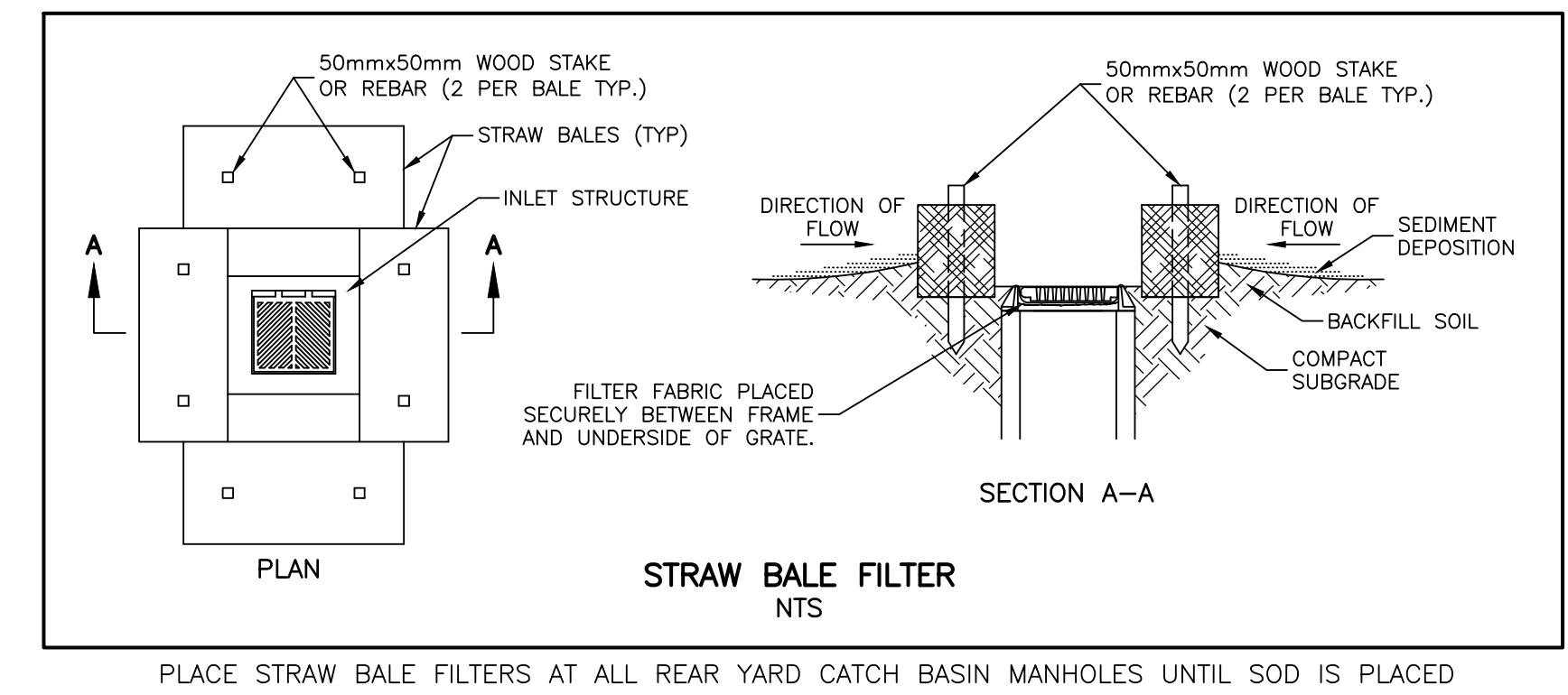
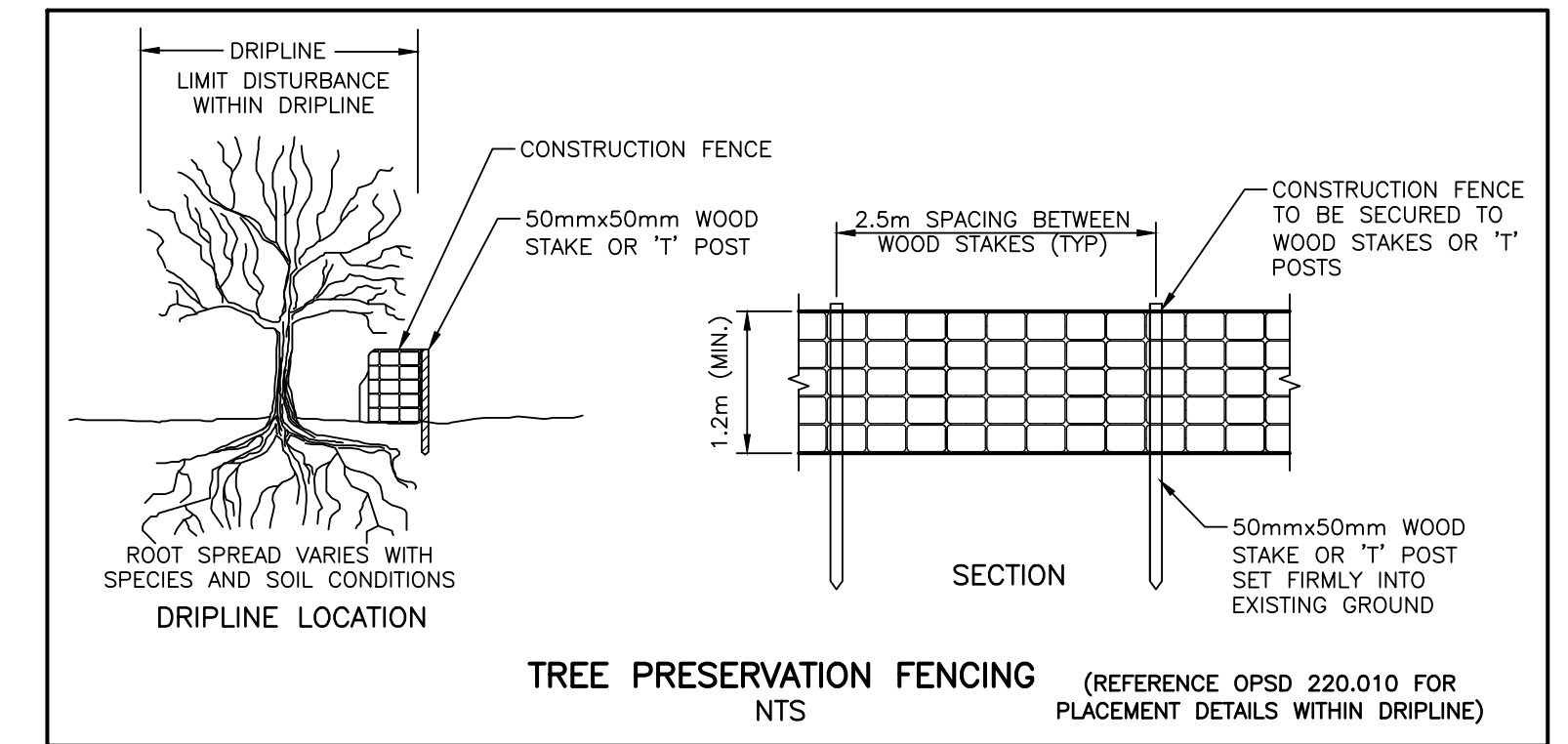
**ACCEPTED**  
 October 28, 2022



TERRAFIX SILTSACK NTS



WOVEN CLASS 1 MATERIAL GEOTEXTILE FILTER FABRIC (AS PER OPSS 1860) WITH A FILTRATION OPENING SIZE OF 840 MICROMETRES (MAXIMUM), MEETING AN/CGSB 148.1, METHOD 10.2. INSTALL IN LOCATIONS SPECIFIED ON ENGINEERING PLAN



ACCEPTED  
October 28, 2022

D:\0007P5 - EROSION.DWG

EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG
						7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG
						8	ISSUED FOR SIXTH SUBMISSION	SEP. 28/22	DEVENG
						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

CONSULTANT OR DIVISION

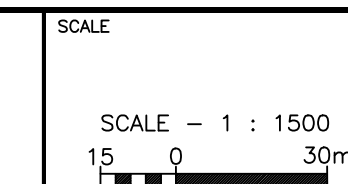
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**development engineering**  
(London) Limited  
CONSULTING CIVIL ENGINEERS

ENGINEER'S STAMP

LICENSED PROFESSIONAL ENGINEER  
D.J. HOEVENHANS  
100145190  
Oct 27, 2022  
PROVINCE OF ONTARIO



TITLE

TIMBERWALK SUBDIVISION - PHASE 5  
ILDERTON ONTARIO  
SIFTON PROPERTIES LIMITED

**EROSION & SEDIMENT CONTROL DETAILS**

PROJECT No.	D0007P5
SHEET No.	18
PLAN FILE No.	

**GENERAL CONSTRUCTION NOTES**

- THE SUBDIVIDER/DEVELOPER SHALL CONSTRUCT TEMPORARY MEASURES TO CONTROL SILT ENTERING THE STORM DRAINAGE SYSTEM TO THE SPECIFICATIONS OUTLINED IN THE GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION PREPARED BY THE MINISTRY OF NATURAL RESOURCES. THESE MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCING ANY CONSTRUCTION FOR THIS SUBDIVISION/DEVELOPMENT/PROJECT, AND ARE TO REMAIN IN PLACE UNTIL CONSTRUCTION HAS BEEN COMPLETED TO THE SPECIFICATIONS OF THE CITY ENGINEER.
- NO FOUNDATION DRAIN CONNECTIONS WILL BE PERMITTED INTO THE SANITARY SEWERS AND NO DIRECT GRAVITY CONNECTIONS FROM THE FOUNDATION DRAINAGE WILL BE PERMITTED TO THE STORM SEWER SYSTEM UNLESS THE STORM SYSTEM HAS THE CAPACITY TO PROVIDE FOR SUCH CONNECTIONS TO THE SATISFACTION OF THE CITY ENGINEER. SUMP PUMPS SHALL BE DISCHARGED TO STORM PRIVATE DRAIN CONNECTIONS.
- STRUCTURAL DESIGN OF SEWERS IS BASED ON THE TRANSITION WIDTH UNLESS OTHERWISE NOTED.
- ALL WORK SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MIDDLESEX CENTRE INFRASTRUCTURE DESIGN STANDARDS, JANUARY 2018, UNLESS OTHERWISE APPROVED BY THE MUNICIPAL ENGINEER.
- WHERE ANY WATER SERVICE CONNECTION IS REQUIRED TO BE MADE FOLLOWING THE CONSTRUCTION OF CURB, GUTTER, CONCRETE SIDEWALK AND/OR WEARING SURFACE COAT OF ASPHALT ON ANY STREET FOR A NEW SUBDIVISION/DEVELOPMENT, SUCH WATER SERVICE CONNECTION SHALL NOT BE MADE USING OPEN CUT METHODS BUT SHALL BE MADE USING DRILLING OR BORING TECHNIQUES AND IN SUCH A MANNER AS TO ELIMINATE THE POSSIBILITY OF SETTLEMENT OF SUCH CURB, GUTTER, CONCRETE SIDEWALK OR WEARING SURFACE COAT OF ASPHALT; IT BEING UNDERSTOOD THAT THIS POLICY SHALL APPLY EXCEPT WHERE, IN THE OPINION OF THE MUNICIPAL ENGINEER, GROUND CONDITIONS ARE SUCH THAT THE USE OF DRILLING AND BORING METHODS BECOME UNREASONABLE OR UNECONOMICAL.
- THE SUBDIVIDER/DEVELOPER IS TO MEET ALL THE REQUIREMENTS OF THE OWNERS OF THE UTILITIES ON THIS PLAN, AND MUST MAKE SATISFACTORY ARRANGEMENTS WITH THE UTILITY COMPANIES FOR CROSSING THEIR INSTALLATIONS AND FOR PROVIDING ADEQUATE PROTECTION DURING CONSTRUCTION.
- STREET NAME SIGNS ARE TO BE INSTALLED TO THE SPECIFICATIONS OF, AND AT LOCATIONS APPROVED BY, THE MUNICIPALITY OF MIDDLESEX CENTRE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
- ALL ORGANIC, UNSTABLE OR UNSUITABLE MATERIALS BENEATH THE ROAD ALLOWANCES OR HOUSE FOUNDATIONS MUST BE REMOVED AND THESE AREAS BACKFILLED WITH AN APPROVED FILL MATERIAL, ALL TO THE SATISFACTION OF A GEOTECHNICAL ENGINEER.
- IF A DRIVEWAY IS TO BE CONSTRUCTED IN THE APPROXIMATE LOCATION OF A SIDEWALK TEE EXTENSION, THE TEE EXTENSION MAY BE ELIMINATED PROVIDED THAT THE CURB AND GUTTER SECTION FOR SIDEWALK RAMP IS USED ACROSS THE DRIVEWAY IN LIEU OF STANDARD DRIVEWAY CURB AND GUTTER.
- THE CONTRACTOR IS RESPONSIBLE FOR DEWATERING RESULTING FROM BOTH WET CONDITIONS AND REGIONS WHERE INVERTS EXIST BELOW THE GROUNDWATER TABLE. SHOULD SEWER EXCAVATIONS ENCOUNTER ANY WET SANDY SOILS, AND FOR THOSE AREAS WHERE THE EXCAVATIONS EXTEND BELOW STABILIZED GROUNDWATER TABLE, CHAIR COLLARS SHALL BE INSTALLED AT STRATEGIC LOCATIONS AS NECESSARY, AS PART OF A CONTINGENCY PLAN, ALL AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FOR ADDITIONAL INFORMATION, REFER TO GEOTECHNICAL REPORT NO. LNE000008182A PREPARED BY TROW ASSOCIATES INC, DATED OCTOBER 7, 2005.
- RECOMMENDED MINIMUM PAVEMENT STRUCTURE:  
HEAVY DUTY ASPHALT AS PER PAVEMENT SCHEDULE.  
40mm HL3 FINE ASPHALT COMPACTED TO 97% MARSHALL  
50mm HL8 BINDER ASPHALT COMPACTED TO 97% MARSHALL  
150mm GRANULAR 'A' COMPACTED TO 100% PROCTOR  
120mm GRANULAR 'B' COMPACTED TO 100% PROCTOR  
CONCRETE CURB SHALL BE OPSD 600.06.
- ALL CONCRETE SHALL BE 30 MPA IN 28 DAYS UNLESS OTHERWISE STATED.
- FILL MATERIAL BETWEEN NATIVE SUBGRADE AND GRANULAR BASE TO BE IMPORTED GRANULAR MATERIAL OR APPROVED NATIVE MATERIALS COMPACTED TO 95% S.P.M.D.D. GRANULAR 'B' AND 'A' TO BE COMPACTED TO 100% S.P.M.D.D. PRIOR TO THE PLACEMENT OF THE GRANULAR BASE. THE GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE AND GIVE DIRECTION TO THE CONTRACTOR.
- AREAS TO BE PAVED SHOULD BE STRIPPED OF ALL TOPSOIL, ORGANIC AND OTHER UNSUITABLE MATERIALS. THE SUBGRADE MUST BE PROOF-ROLLED AND ALL SOFT SPOTS SHALL BE SUBEXCAVATED AND BACKFILLED WITH APPROVED FILL MATERIAL.
- IN AREAS REQUIRING FILL MATERIAL TO ACHIEVE DESIGN GRADES, ALL TOPSOIL, VEGETATION AND DELETERIOUS MATERIAL SHOULD BE REMOVED PRIOR TO FILL PLACEMENT AND THE EXPOSED SUBGRADE SHOULD BE INSPECTED BY A GEOTECHNICAL ENGINEER, ANY LOOSE OR SOFT ZONES SHOULD BE SUBEXCAVATED AND REPLACED WITH APPROVED FILL. EXCAVATED MATERIAL IS EXPECTED TO BE NEAR THE OPTIMUM MOISTURE CONTENT FOR COMPACTION. MATERIAL IS PROPOSED FOR RE-USE AS ENGINEERED FILL, ADEQUATE TIME SHOULD BE PROVIDED FOR DRYING OR BLENDING WITH APPROVED DRY FILL AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FILL MATERIAL PROPOSED UNDER BUILDING AREAS SHOULD COMPRISE OF IMPORTED GRANULAR MATERIAL OR APPROVED MATERIAL. THE FILL SHOULD BE PLACED IN MAXIMUM 300mm LIFTS AND COMPACTED TO 100% S.P.M.D.D. FILL MATERIAL USED TO RAISE GRADES ALONG PROPOSED ROADWAYS MAY COMPRISE OF ON-SITE EXCAVATED MATERIAL OR IMPORTED GRANULAR FILL. THE FILL SHOULD BE PLACED IN MAXIMUM 300mm LIFTS AND UNIFORMLY COMPACTED TO 95% TO 98% S.P.M.D.D. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.
- PIPE BEDDING SHOULD BE PLACED IN ACCORDANCE WITH THE MUNICIPALITY OF MIDDLESEX CENTRE STANDARDS.
- RESIDENTIAL SANITARY PDCs ARE NOT TO BE CONSTRUCTED INTO ANY SANITARY MAINTENANCE HOLES.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE MUNICIPAL ENGINEER.

**EARTHWORKS NOTES AND GEOTECHNICAL CONSIDERATIONS**

- FOR GEOTECHNICAL INFORMATION REFER TO REPORT NO. LNE000008182A PREPARED FOR THIS SUBDIVISION BY TROW ASSOCIATES, DATED OCTOBER 7, 2005. SUBGRADE PREPARATION: PRIOR TO PLACING THE GRANULAR SUBBASE OR TRENCH BEDDING MATERIAL, EXISTING TOPSOIL AND UNSUITABLE FILL MATERIAL SHALL BE REMOVED FROM THE BUILDING ENVELOPE, SERVING CORRIDORS AND PAVEMENT AREAS. IT IS RECOMMENDED THAT THE SUBGRADE BE PROOF-ROLLED WITH A HEAVY ROLLER TO COMPRESS THE LOOSE SURFACE MATERIAL. THE NEED FOR LOCALIZED SUBGRADE IMPROVEMENT WILL BE ASSESSED BY THE ON-SITE GEOTECHNICAL ENGINEER BASED UPON ENCOUNTERED CONDITIONS. THE NATIVE SAND AND SILTY SUBSOILS MAY BE CONSIDERED SUITABLE FOR REUSE AS BACKFILL MATERIAL SUBJECT TO APPROPRIATE MOISTURE CONDITIONING, ANY SOIL PROPOSED FOR REUSE SHOULD BE WITHIN 3% OF THE OPTIMUM MOISTURE AND SUBJECT TO APPROVAL BY THE GEOTECHNICAL ENGINEER. THE BACKFILL MATERIAL SHOULD NOT BE PLACED IN LIFTS EXCEEDING 300mm. SUBGRADE FILL MATERIAL (IF REQUIRED) BETWEEN COMPETENT NATIVE SUBGRADE AND GRANULAR BASE SHALL BE IMPORTED GRANULAR OR SELECT/APPROVED INORGANIC NATIVE MATERIAL (EXCEPT WET SANDY SILT) COMPACTED TO 98% SPMDM WITH ACCEPTABLE MOISTURE CONTENT CONTROL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXCAVATION OF UNSUITABLE FILL MATERIAL ABOVE PREGRADE ELEVATION FROM WITHIN THE WORK ZONE AND THE DISPOSAL OF ALL SUCH EXCESS MATERIAL. A LICENSED HAULER MAY BE REQUIRED TO TRANSPORT SUBSOIL FILL AND CONSTRUCTION DEBRIS FROM THE SITE TO AN APPROVED FACILITY IN ACCORDANCE WITH O.R.E.G. 511. TESTING MAY BE UNDERTAKEN BY THE OWNER, BUT ALL COSTS ASSOCIATED WITH OFFSITE DISPOSAL SHALL BE BORNE BY THE CONTRACTOR.
- EXCAVATION AND FILL MATERIAL SHALL BE UNDERTAKEN BY THE CONTRACTOR TO REMOVE COBBLES WHERE NECESSARY PRIOR TO ONSITE REUSE.
- EXCAVATION INTO SELECT AREAS MAY ENCOUNTER TYPE 3 AND 4 SOILS, AS CLASSIFIED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT. THE CONTRACTOR SHALL BE RESPONSIBLE TO MANAGE AND CONTROL ALL WATER (SUBSURFACE AND SURFACE) DURING THE CONTRACT DURATION, AND THE MEASURES USED TO ENACT SUCH CONTROL, INCLUDING ALL REQUIRED PERMITS/APPROVALS (IE. PTTW FOR DEWATERING IN EXCESS OF 50,000 LITRES PER DAY) BASED UPON SELECTED CONTROL METHODS, AT NO EXTRA COST TO THE CONTRACT.
- THE SUBEXCAVATION OF SELECT AREAS MAY WARRANT SPECIAL TEMPORARY SUPPORT MEASURES BY THE CONTRACTOR, INCLUDING BUT NOT LIMITED TO TEMPORARY SHORING, RETAINING WALLS, PILES, STRUCTURAL BEAMS OR UNDERPINNING, AND ALL SUCH MEASURES SHALL BE APPROPRIATELY DESIGNED BY QUALIFIED PROFESSIONALS AND IMPLEMENTED AS NECESSARY FOR THE TIMELY COMPLETION OF WORKS SO AS TO MAINTAIN PROJECT SCHEDULE. SHOP DRAWINGS PREPARED AND CERTIFIED BY QUALIFIED PROFESSIONALS SHALL BE SUBMITTED FOR REVIEW AND ACCEPTANCE BY THE ENGINEER. REFERENCE SHALL BE DRAWN TO THE GEOTECHNICAL RECOMMENDATIONS BY TROW ASSOCIATES.
- SUITABILITY OF SOIL FOR REUSE OF SELECT CLEAN FILL AND NATIVE SUBSOIL FOR COMPACTION SHALL REMAIN SUBJECT TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER. AS NOTED BY THE GEOTECHNICAL INVESTIGATION, BLENDING AND MOISTURE CONDITIONING MAY BE WARRANTED TO PREPARE SOILS TO WITHIN 3% OF OPTIMUM MOISTURE CONTENT TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- WHERE ENCOUNTERED GROUNDWATER CONDITIONS WARRANT, SELECT SEWER TRENCHES SHALL BE CONSTRUCTED WITH ANTI-SEEPAGE COLLARS OF SELECT SUITABLE SUBSOIL OR LEAN CONCRETE FILL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- ANY STRUCTURAL/ENGINEERED FILL PLACEMENT SHALL BE CONSTRUCTED BY THE CONTRACTOR UNDER THE FULL TIME SUPERVISION OF THE GEOTECHNICAL ENGINEER.

**SERVICING NOTES:**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY OF MIDDLESEX CENTRE INFRASTRUCTURE DESIGN STANDARDS INCLUDING PROPER FINISHING OFF AND PARGING OF PIPES IN MANHOLES AND CATCHBASINS AND PROPER BENCHING AND MANHOLE STEPS.
- PRECAST STORM AND SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT ONTARIO PROVINCIAL STANDARDS 701.01 AND MIDDLESEX CENTRE STANDARDS.
- CATCHBASIN SHALL BE 600mm X 600mm PRECAST WITH 600mm STANDARD CATCHBASIN FRAMES AND GRATES AND 600mm HUMPS BELOW THE LOWEST INVERT S S PER OPSD 705.010 AND 400.900.
- PVC FITTINGS SHALL BE PERMITTED INTO STORM AND SANITARY SEWERS SHALL NOT BE GREATER THAN 8640 LITRES PER HECTARE PER DAY.
- ALL EXCAVATIONS FOR PROPOSED SERVICES SHALL BE SUPPORTED ON GRANULAR FILL. ALL TOPSOIL, SOFT AND OTHERWISE UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SUBGRADE SHOULD BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER. ANY LOOSE OR SOFT ZONES, NOTED IN THE INSPECTION SHOULD BE EXCAVATED AND REPLACED WITH APPROVED INORGANIC ON-SITE OR IMPORTED FILL. ALL FILL MATERIAL SHOULD BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER AND SHOULD BE PLACED IN LIFTS NOT EXCEEDING 300mm THAT ARE COMPACTED TO 100% SPMDM. THE FILL MATERIAL SHOULD COMPRISE OF CLEAN COMPACTIBLE FILL WITHIN 3% OF THE OPTIMUM MOISTURE.
- WHERE ADJACENT MANHOLES ARE LOCATED IN CLOSE PROXIMITY TO ONE ANOTHER, THE AREA BETWEEN THE ADJACENT MANHOLES SHALL BE BACKFILLED IN ACCORDANCE WITH THE SPECIFICATIONS IN THE FOLLOWING TABLE:  
DISTANCE BETWEEN ADJACENT MANHOLES MATERIAL  
0.6m OR LESS CONCRETE OR CRUSHED STONE  
0.60m TO 2.4m GRANULAR MATERIAL  
MORE THAN 2.4m APPROVED NATIVE MATERIAL
- PRIOR TO COMMENCING ANY WORK ON THE INSTALLATION OF SERVICES, AN APPROVED SET OF PLANS AND SPECIFICATIONS MUST BE AVAILABLE ON THE JOB AND SHALL REMAIN THERE WHILE WORK IS BEING DONE.
- STORM AND SANITARY SEWERS AND CATCHBASIN CONNECTIONS SHALL HAVE APPROVED RUBBER GASKET JOINTS.
- PRIOR TO COMMENCING CONSTRUCTION, ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE CONSTRUCTION SITE SHALL BE LOCATED AND MARKED. ANY UTILITIES, DAMAGED OR DISTURBED DURING CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO COMMENCING ANY CONSTRUCTION, ALL SEWER OUTLET INFORMATION, BENCHMARKS, ELEVATIONS, DIMENSIONS AND GRADES MUST BE CHECKED BY THE CONTRACTOR AND VERIFIED AND ANY DISCREPANCIES REPORTED TO THE ENGINEER.
- ALL EXISTING UNDERGROUND PLANT (TELEPHONE DUCT, GAS MAINS, SEWER, WATERMANS) THAT WILL BE CROSSED UNDER DURING THE INSTALLATION OF SERVICES FOR THIS DEVELOPMENT SHALL BE SUPPORTED BY A SUPPORT BEAM OR BY OTHER METHODS AS MAY BE REQUIRED BY THE OWNERS OF THE PLANT BEING CROSSED UNDER.
- EXISTING TOPOGRAPHIC INFORMATION WAS OBTAINED FROM A SURVEY COMPLETED BY DEVELOPMENT ENGINEERS (LONDON) LIMITED.
- THE DEVELOPER IS RESPONSIBLE FOR:  
-CONNECTING ANY EXISTING SEWER OR DRAIN ENCOUNTERED DURING CONSTRUCTION TO A NEW SEWER OR INTO ANOTHER EXISTING SEWER.  
-ENSURING THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBOURING PROPERTIES.
- ALL PROPOSED 200mm TO 525mm STORM AND SANITARY SEWER PIPE TO BE PVC DR 35 OR PIPE AS APPROVED BY THE MUNICIPALITY OF MIDDLESEX CENTRE WITH TYPE I BEDDING UNDER 4.5m OF COVER AND TYPE II BEDDING OVER 4.5m OF COVER. ALL 600 TO 1200 STORM SEWER PIPE SHALL BE CONCRETE AND TYPE I BEDDING. ALL PIPES SHALL BE PERMITTED ON PLAN, BEING PROFILE DRAWING. SANITARY PRIVATE DRAIN CONNECTIONS SHALL BE INSTALLED AT 2% MINIMUM GRADE. ALL SEWER BEDDING MUST BE COMPACTED TO 95% STANDARD MAXIMUM DRY DENSITY (MINIMUM).
- THE LIDS OF ALL REAR YARD CATCHBASINS ARE TO BE INSTALLED SO THAT THE INLET GRATES ARE LOCATED ENTIRELY ON ONE PROPERTY, TO AVOID INTERFERENCE BY FENCES.
- STRAW BALE FILTERS SHALL BE INSTALLED AROUND ALL EXISTING AND NEW CBS & CBMHs IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH DETAIL. FILTERS TO REMAIN IN PLACE UNTIL PAVING AND/OR SODDING IS COMPLETE.
- UPON COMPLETION OF SEWER INSTALLATION, THE CONTRACTOR IS RESPONSIBLE FOR FLUSHING AN CLEANING ALL SEWER MANHOLES, CBS, CBMHs AND FOR SUCCESSFULLY PULLING THE MANDREL THROUGH THE PVC PIPES SIZES 200mm TO 525mm.
- CONTRACTOR SHALL COMPLETE CCTV VIDEO INSPECTION OF STORM & SANITARY SEWERS AND PROVIDE A COPY TO THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE TO SUMP PUMPS DISCHARGING TO STORM SEWER, THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF SURFACE AND SUBSURFACE WATER.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY OF MIDDLESEX CENTRE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
- ALL EXISTING AND REBUILDING SURFACES, DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED TO A CONDITION AT LEAST AS GOOD AS ORIGINAL, ALL TO THE SATISFACTION OF THE ENGINEER. NO CONNECTION OF WEEPING TILES WILL BE ALLOWED TO THE SANITARY SEWER SYSTEM.
- FOOTING P.D.C., INVERTS AT THE OUTSIDE BUILDING WALLS SHALL BE 0.4m BELOW THE UNDERSIDE OF FOOTING ELEVATION (TYPICAL).
- SEPARATION BETWEEN BURIED WSC & PDC AS PER M.O.E.E. GUIDELINES AND SECTION 7.3.5.6 OF THE O.B.C.
- SANITARY AND STORM PDC'S TO BE 100mm PVC SDR28 AT 2.0% MINIMUM.
- STREET CATCHBASINS TO HAVE 2508 LEADS AT MIN. 0.697'.
- 150mm DIA. PERFORATED FIBRE GLASS SUBDRAIN WITH FILTER SOCK UNDER ALL CURBS.
- NEW SANITARY MANHOLES SHALL BE FITTED WITH "PARSONS INSERTS" UNTIL BASE ASPHALT IS PLACED.
- EXTERNAL JOINT SEAL WRAP IS REQUIRED ON ALL SANITARY MANHOLES, ALL PRECAST MAINTENANCE HOLE AND PIPE JOINTS SHALL BE SEALED WITH A 12-INCH WIDE EXTERIOR JOINT WRAP MEETING THE MATERIALS REQUIREMENTS OF THIS SPECIFICATION AND INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. THE EXTERNAL JOINT SEAL MATERIAL SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C-877, TYPE II. FURTHER, THE EXTERNAL JOINT SEALS SHALL BE CRETIC WRAP EXTERNAL MANHOLE JOINT SEALS OR PRE-APPROVED EQUAL CONFORMING TO THE FOLLOWING REQUIREMENTS. EXTERNAL JOINT SEALS SHALL CONSIST OF A COLLAR 24-INCH WIDE WITH AN OUTER LAYER OF POLYETHYLENE, WITH A MINIMUM TENSILE STRENGTH OF 4000 AND A MINIMUM TENSILE RESISTANCE OF 1900 PSI, AND AN UNDER LAYER OF RUBBERIZED MASTIC THAT IS REINFORCED WITH A WOVEN POLYPROPYLENE FABRIC. TWO 5/8" STEEL STRAPS SHALL BE LOCATED WITHIN THE COLLAR 3/4" FROM EACH EDGE. THE STRAPS SHALL BE CONFINED IN TUBES THAT ISOLATE THEM FROM THE MASTIC AND ALLOW THEM TO SLIP FREELY WITH MECHANICALLY TIGHTENED AND LOCKED AROUND THE JOINT. THE COLLAR SHALL BE FURNISHED WITH A MINIMUM OF 6" OVERLAY AND A CLOSING FLAP TO COVER ANY REMAINING EXPOSED STRAP.

**SEDIMENT AND EROSION CONTROL NOTES**

- PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.
- MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
- ALL COLLECTED SEDIMENT MUST BE DISPOSED OF AT AN APPROVED LOCATION.
- MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
- ALL DEWATERING MUST BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
- PROTECT ALL CATCH BASINS, MAINTENANCE HOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE (TERRAFIX 270R).
- KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
- PREVENT WIND-BLOWN DUST.
- STRAW BALES TO BE USED IN LOCALIZED AREAS AS SHOWN AND AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION.
- STRAW BALES TO BE TERMINATED BY ROUNDING BALES TO CONTAIN AND FILTER RUNOFF.
- ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
- ALL OF THE ABOVE NOTES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
- WHEN ALL RESTORATION IS COMPLETED, REMOVE SEDIMENT AND EROSION CONTROL MEASURES AND RESTORE IMPACTED AREAS.
- IF EXISTING WELLS AND SEPTIC BEDS ARE ENCOUNTERED WITHIN THE DEVELOPMENT, THEY SHALL BE DECOMMISSIONED IN ACCORDANCE WITH ALL APPLICABLE M.O.E. REQUIREMENTS.

**GRADING NOTES**

- EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED.
- LOCALIZED SURFACE DRAINAGE FROM ABUTTING PROPERTIES TO BE DEVELOPED IN FUTURE MAY BE DISCHARGED ONTO THE PROPOSED LOTS IN THIS SUBDIVISION.
- BASEMENT OPENINGS TO BE MINIMUM 300mm ABOVE THE CENTRE-LINE OF ROAD UNLESS OTHERWISE APPROVED BY THE DIRECTOR OF PUBLIC WORKS AND ENGINEERING.
- GROUND ELEVATIONS AT HOUSES ABUTTING OVERLAND FLOW ROUTES ARE TO BE 225mm ABOVE OVERLAND FLOW ROUTE ELEVATIONS.
- RETAINING WALLS, 1.0m HIGH OR GREATER, ARE TO BE DESIGNED BY AND CONSTRUCTED TO THE SPECIFICATIONS OF A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- FOR SUBDIVISIONS: SUMP PUMP DISCHARGE MUST BE DIRECTED TO THE STORM SEWER VIA THE STORM PDC.
- WHERE THERE ARE NO STORM PDC'S, SUMP PUMP DISCHARGE MUST BE DIRECTED AWAY FROM DRIVEWAYS AND SIDEWALKS AND MUST NOT EXTEND BEYOND PROPERTY LIMITS.

**The Following Ontario Provincial Standard Drawings Shall Be Used on This Project**

OPSD-400.02	Catchbasin, Cast Iron, Frame and Flat square grate
OPSD-400.09	Catchbasin, Cast Iron Curb Inlet Overflow Plate
OPSD-401.01	Maintenance Hole, Cast Iron Cover and Square Frame
OPSD-401.03	Maintenance Hole, Cast Iron, Watertight Cover and Square Frame
OPSD-401.06	Cast Iron, Circular Locking Cover for Maintenance Holes
OPSD-403.01	Galvanized Steel Honeycomb Grating for Ditch Inlets
OPSD-404.020	Aluminum Safety Platform for Circular Maintenance Holes
OPSD-405.010	Maintenance Hole Steps – Sollow
OPSD-405.020	Concrete Barrier Curb With Wide Gutter
OPSD-600.01	Concrete Semi-Mountable Curb With Standard Gutter (Curb Cuts Not Required at Driveway Entrances)
OPSD-600.11	Concrete Barrier Curb
OPSD-608.01	Method of Termination for Curb & Gutter
OPSD-701.010	Precast Maintenance Hole – 1200mm Diameter
OPSD-701.011	Precast Maintenance Hole – 1500mm Diameter
OPSD-701.012	Precast Maintenance Hole – 1800mm Diameter
OPSD-701.013	Precast Maintenance Hole – 2400mm Diameter
OPSD-701.021	Maintenance Hole Benching and Pipe Opening Alternatives
OPSD-701.030	Precast Concrete Maintenance Hole Components – 1200mm Diameter Tapered Top and Flat Cap
OPSD-701.031	Precast Concrete Maintenance Hole Components – 1200mm Diameter Riser and Monolithic Base
OPSD-701.032	Precast Concrete Maintenance Hole Components – 1200mm Diameter Base Slab
OPSD-701.040	Precast concrete maintenance hole components – 1500mm diameter Transition Cone and Slabs
OPSD-701.041	Precast Concrete Maintenance Hole Components – 1500mm Diameter Riser and Bases
OPSD-701.050	Precast concrete maintenance hole components – 1800mm Diameter Transition Slab
OPSD-701.051	Precast Concrete Maintenance Hole Components – 1800mm Diameter Riser and Base Slab
OPSD-701.060	Precast Concrete Maintenance Hole Components – 2400mm Diameter Transition Slabs
OPSD-701.061	Precast Concrete Maintenance Hole Components – 2400mm Diameter Riser and Base Slab
OPSD-704.010	Precast Concrete Adjustment Units for Maintenance Holes
OPSD-705.010	Catch Basins, and Valve Chambers
OPSD-705.020	Precast Concrete Catchbasin 600x600, Depth-4.0m max.
OPSD-705.030	Precast Concrete Twin Inlet Catch Basin 600x1450mm
OPSD-705.040	Precast Concrete Ditch Inlet 600x600mm
OPSD-706.01	Precast Concrete Ditch Inlets 600x1200mm
OPSD-708.03	Catchbasin Connection to Flexible Pipe Sewer
OPSD-710.010	Capping Existing Structures (Maximum 4.0m Cover)
OPSD-807.010	Height of Fill Table Reinforced Concrete Pipe – Confined Trench Class 50-D, 65-D, 100-D and 140-D
OPSD-807.030	Height of Fill Table Reinforced Concrete Pipe – Embankment Class 50-D, 65-D, 100-D and 140-D
OPSD-807.040	Height of Fill Table Non-Reinforced Concrete Pipe Class 3
OPSD-807.050	Height of Fill Table Horizontal Elliptical Concrete Pipe
OPSD-810.010	HE-III, HE-III, HE-IV
OPSD-980.101	Rip-Rap Treatment for Sewer and Culvert Outlets
	Pedestrian Barricade Installation

**HARDSCAPE SURFACING (ROADS, LANES, PARKING, CURBS, SIDEWALKS) NOTES**

- ALL DIMENSIONS FOR ROADWORKS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. CURB RADII ARE SHOWN TO EDGE OF PAVEMENT.
- MATERIAL CONFORMANCE: PRIOR TO IMPORT OF MATERIALS TO WORK SITE, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE GEOTECHNICAL ANALYSIS OF GRANULAR A AND B MATERIALS TO PROVE CONFORMANCE WITH OPSD 1010. ASPHALT MIX DESIGNS SHALL BE SUBMITTED TO INDICATE CONFORMANCE WITH OPSD 1150 AND PLACEMENT SHOULD BE UNDERTAKEN IN ACCORDANCE WITH OPSD 310. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH OPSD 353 AND OPSD 1350.
- ALL ORGANIC, UNSTABLE OR UNSUITABLE MATERIALS BENEATH THE ROAD ALLOWANCES OR PAVED AREAS MUST BE REMOVED AND THESE AREAS BACKFILLED WITH AN APPROVED FILL MATERIAL OR OPSD GRANULAR 'B' COMPACTED TO 95% SPMDM, ALL TO THE SATISFACTION OF A GEOTECHNICAL ENGINEER, AS AN ALTERNATIVE TO SUBEXCAVATION. A WOVEN GEOTEXTILE SEPARATOR MAY BE PLACED OVER SPONGY AREAS, AT DESIGN SUBGRADE ELEVATION, AS DIRECTED BY THE GEOTECHNICAL ENGINEER ON SITE.
- THE SPECIFICATIONS FOR THE DESIGN OF THE STREETS/LANES IN CONJUNCTION WITH THIS DEVELOPMENT PROJECT HAVE BEEN BASED ON A TEN (10) YEAR REFERENCE PERIOD. REFERENCES SHALL BE DRAWN TO THE PAVEMENT STRUCTURE SCHEDULE (TABLE) ON SHEET 24 FURTHER TO THE RECOMMENDATIONS OF LVM.
- ALL EXISTING BOULEVARDS AND ROAD SURFACES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST AS GOOD AS ORIGINAL, ALL TO THE SATISFACTION OF THE MUNICIPAL ENGINEER.
- ALL CONCRETE TO BE OPS MIX 30 MPA AT 28 DAYS UNLESS OTHERWISE NOTED.
- SIDEWALKS SHALL BE FOUNDED UPON COMPETENT SUBGRADE COMPACTED TO 98% SPMDM AND MINIMUM 100MM GRANULAR 'A' COMPACTED TO 98% SPMDM. ALL SIDEWALK APPROACHES TO ROADWAYS SHALL HAVE RAMP'S CONSTRUCTED PER MIDDLESEX CENTRE STANDARDS.
- ALL SIDEWALK RAMPS REQUIRE TACTILE WALKING SURFACE INDICATOR PLATES TO BE IN COMPLIANCE WITH ONTARIO REGULATION 413/12. REFERENCE MIDDLESEX CENTRE STANDARDS.
- ALL PUBLIC RIGHT OF WAY CURB & GUTTER SHALL BE CONSTRUCTED AS PER OPSD 600.060 UNLESS OTHERWISE SPECIFIED.
- ALL RIP-RAP MATERIAL SHOULD COMPRISE OF SOUND LIMESTONE, FREE OF INCLUSIONS. THE LIMESTONE SHOULD BE BLASTED OR CRUSHED WITH AN AVG. SIZE AS NOTED ON THE PLANS AND SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER AT THE QUARRY PRIOR TO USE ON SITE. THE RIP-RAP SHALL BE UNDERLAIN WITH TERRAFIX 270R GEOTEXTILE OR AN APPROVED EQUAL.
- ANY PROPOSED SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE ENGINEER.

**The Following Middlesex Centre Standard Drawings Shall Be Used on This Project**

Figure 1.1	Minimum Centreline Radii of Curvature for Roads in Subdivisions
Figure 1.2	90 Degree Street Curve – Local Street
Figure 1.3	Standard for Circular Cul-De-Sac
Figure 1.4	Typical Cross Section Local Urban Residential
Figure 1.5	Typical Cross Section – Local Rural Residential Street
Figure 1.6	Temporary Dead End Treatment
Figure 1.7	Temporary Dead End Treatment
Figure 1.8a	Standard for Single and Double Driveway Entrance (Urban)
Figure 1.8b	Standard for Single and Double Driveway Entrance (Rural)
Figure 1.9	Concrete Sidewalk
Figure 1.10	Catchbasin Catchment Area
Figure 1.11a	Sidewalk Transition Locations at New Signalized Intersections
Figure 1.11b	Sidewalk Transition Locations at New Signalized Intersections
Figure 1.11c	Sidewalk Transition Locations at New Signalized Intersections
Figure 1.11d	Sidewalk Transition Locations at New Signalized Intersections
Figure 1.11e	Sidewalk Transition Locations at New Signalized Intersections
Figure 1.11f	Tactile Plate Location Details and Cross-sections
Figure 1.11g	Tactile Plate – Island Locations and Cross-sections
Figure 1.11h	Tactile Plate – Details and Sections
Figure 1.11i	Tactile Plate Layout
Figure 2.1	Sanitary Sewer Design Sheet
Figure 2.2	Hydraulic Elements Graph for Circular Sewers
Figure 2.3	Standard Servicing Locations for Single Family and Semi-Detached Lots
Figure 2.4	Private Drain Connections (Residential)
Figure 2.5	Private Drain Connections – Type 1 (Residential)
Figure 2.6	Private Drain Connections – Type 2 (Residential)
Figure 2.7	Private Drain Connection Cleanouts (Residential)
Figure 2.8	Private Drain Connection Marker (Residential)
Figure 2.9	Bedding Standard for Rigid and Flexible Pipe
Figure 2.10	Maximum Pipe Sizes for Pre-Cast Maintenance Holes
Figure 2.11	Maintenance Hole Drop Structure
Figure 2.12	Steps in Maintenance Hole Benching
Figure 2.13	Head Losses in Maintenance Holes
Figure 2.14	Precast Concrete Catchbasin
Figure 2.15	Tactile Vertical Riser Installation
Figure 2.16a-b	Typical Manhole Frame and Cover
Figure 4.1	Stormwater Collection System Design Chart
Figure 4.2a)	Rainfall Intensity – Duration Curves for Storm Design
Figure 4.2b)	2 Year Rainfall Intensity Chart
Figure 4.3	Average Runoff Coefficient to Time of Concentration
Figure 4.4	Hydraulic Elements Graph for Circular Sewers
Figure 4.5	Insulation Standard for Shallow Mains and Offsets
Figure 4.6	Bedding Standard for Rigid and Flexible Pipe
Figure 4.7	Maximum Pipe Sizes for Pre-Cast Maintenance Holes
Figure 4.8	Maintenance Hole Drop Structure
Figure 4.9	Steps in Maintenance Hole Benching
Figure 4.10	Head Losses in Maintenance Holes
Figure 4.11	Standard Servicing Locations for Single Family and Semi-Detached Lots
Figure 4.12	Private Drain Connection (Residential)
Figure 4.13	Private Drain Connection Riser – Type 1 (Residential)
Figure 4.14	Private Drain Connection Riser – Type 2 (Residential)
Figure 4.15	Private Drain Connection Cleanout (Residential)
Figure 4.16	Private Drain Connection Marker (Residential)
Figure 4.17	Precast Concrete Curb Inlet Cast Basin 600 x 840
Figure 4.18	Precast Concrete Catch Basin Maintenance Hole x 420
Figure 4.20a-b	Typical Catchbasin Frame and Grate
Figure 5.1	Standard Servicing Locations for Single Family and Semi-Detached Lots
Figure 5.2	Insulation Standard for Shallow Mains and Offsets
Figure 5.3	Standard Mechanical Joint Offset Installation Using Tiebolt Couplings
Figure 5.4	Standard 50mm Blow Off Installation
Figure 5.5	9800 Automatic Flushing Device Detail
Figure 5.6	Metered Automatic Flushing Device Details
Figure 5.7	Typical Restraint Details
Figure 5.8	Hydrant and Valve Installation
Figure 5.9	Tracer Wire Installation
Figure 5.10	Standard Installation of <50mm Water Services; Connection and Layout Detail
Figure 5.11	Schematic Layout of 100mm and Larger Services
Figure 5.12	Catholic Protection Assemblies for 20mm to 50mm Water Services
Figure 5.13	Catholic Protection for 100mm and Larger Water Services
Figure 5.14	Note for Designers with regard to Automatic Flushing Devices Discharge Rates
Figure 5.15	450mm and up Typical Watermain Support Detail
Figure 5.16	Typical Reinstatement/Bedding Detail for 450mm and up Watermain Support
Figure 5.17	General Submission and Design Requirements for Watermain Support and Bedding Reinstatement
Figure 5.18	Zinc Anode Installation on all Copper Water Service Tubing
Figure 5.19	Typical Sampling Station

**WATERMAIN NOTES**

**WATERMANS**

- UP TO AND INCLUDING 300mm DIA PVC TO AWWA C900, CSA B 137.3, CLASS 150 DR 15 WITH CAST IRON OUTSIDE DIAMETER DIMENSIONS (BIOMAX-AWWA C909 NOT ACCEPTED).
- A 12 GAUGE COPPER WIRE MUST BE SUPPLIED ALONG THE FULL LENGTH OF THE PIPE TO PROVIDE ELECTRICAL CONTINUITY.
- ALL PVC PIPE AND PVC FITTINGS ARE TO BE BLUE IN COLOUR.
- FITTINGS FOR 100mm TO 200mm DIA ARE TO BE PVC; FITTINGS FOR 250mm PIPE AND GREATER ARE TO USE MECHANICAL JOINT DI FITTINGS.
- MINIMUM COVER OVER WATERMAIN AND SERVICES TO BE 1.70m. INSULATION TO BE PROVIDED WITH LESS THAN 1.5m COVER.
- WATERMAIN BEDDING SHALL BE OPS GRANULAR 'A' COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY, WHERE HIGH GROUND WATER LEVELS ARE ENCOUNTERED, CRUSHED STONE BEDDING (TYPE 2 FOR PVC PIPE) SHALL HAVE A GEOTEXTILE SURROUND OF TERRAFIX 270R, OR APPROVED EQUIVALENT, W/ 300mm OVERLAP MINIMUM. ALL AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- FOLLOWING INSTALLATION OF THE WATERMAIN, STUB SERVICES, HYDRANTS AND BLOW-OFFS, AND PRIOR TO CONNECTION TO THE EXISTING WATER SYSTEM, THE SYSTEM SHALL BE FLUSHED, DISINFECTED AND SUBJECTED TO A HYDROSTATIC PRESSURE TEST AS PER MIDDLESEX CENTRE STANDARDS AND OPSD 701.
- MECHANICAL RESTRAINERS W/ ANODES TO BE USED. THRUST BLOCKS WILL NOT BE ACCEPTED.

**SERVICES**

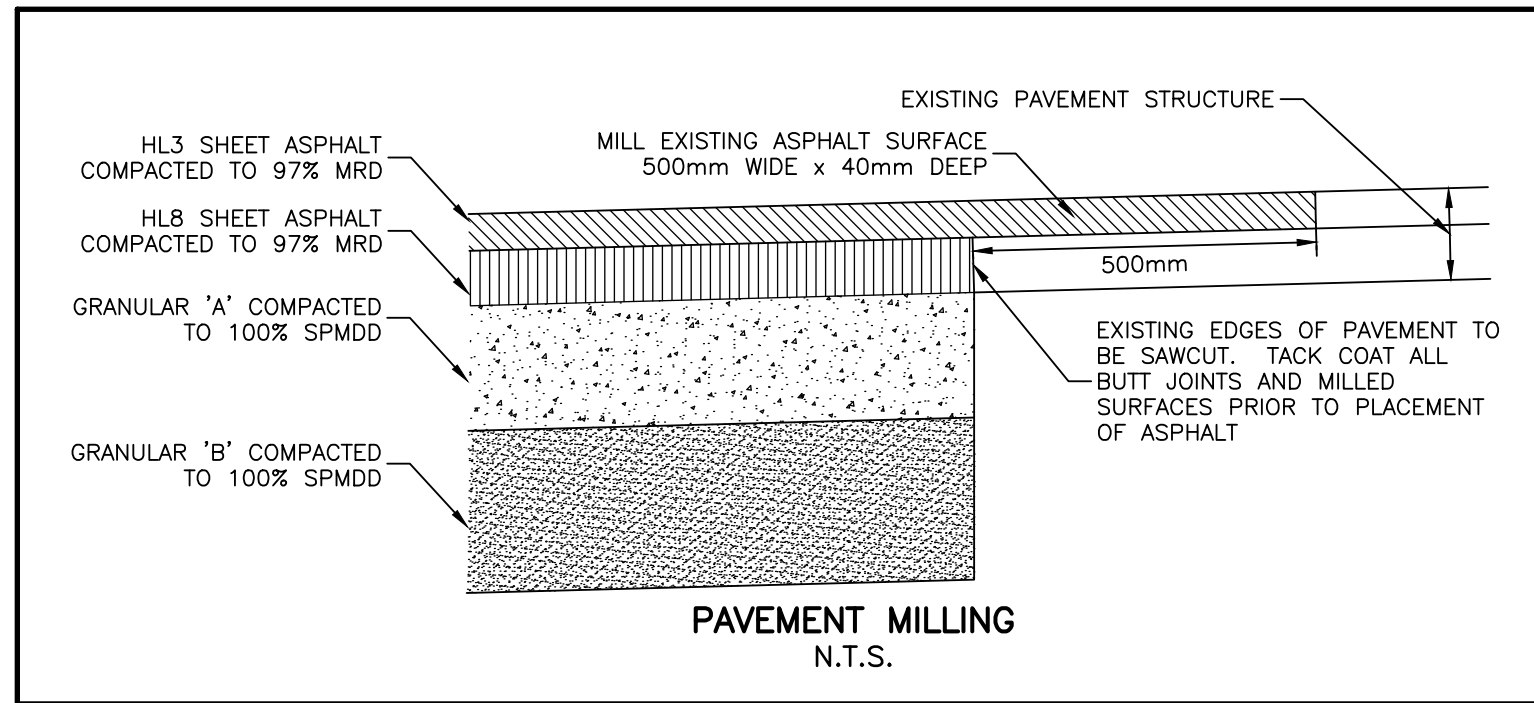
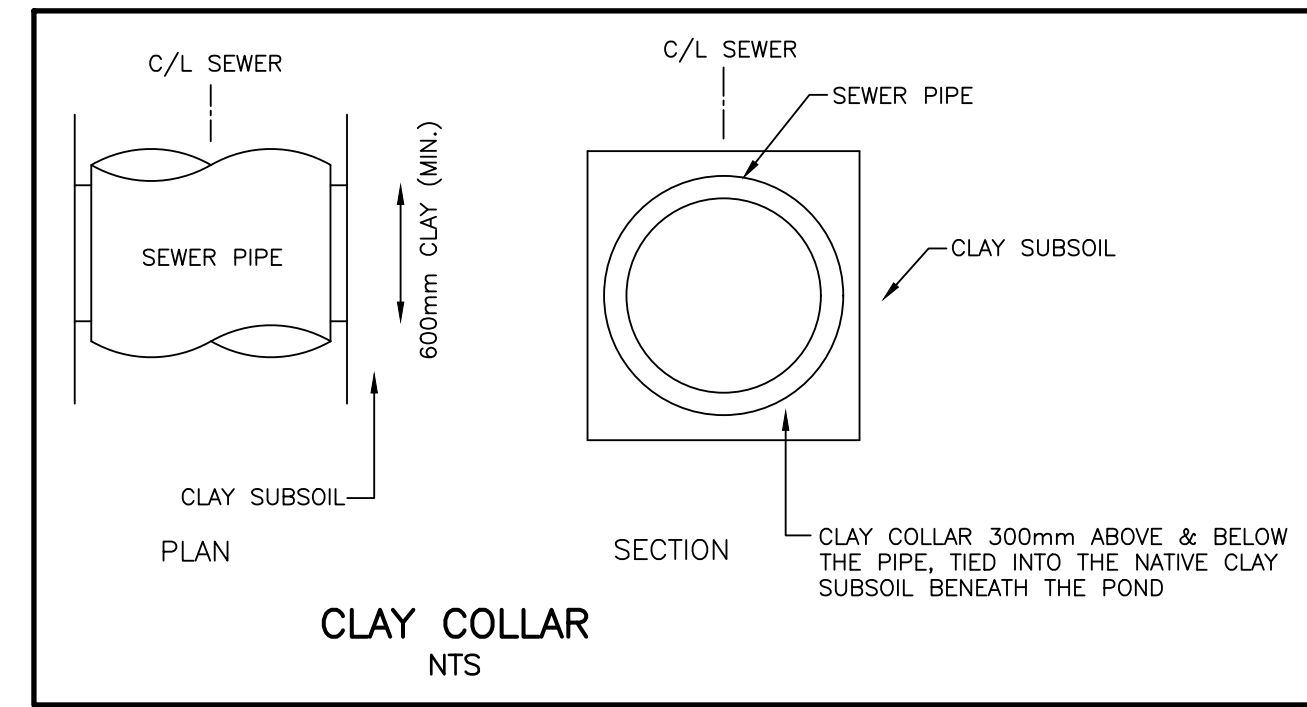
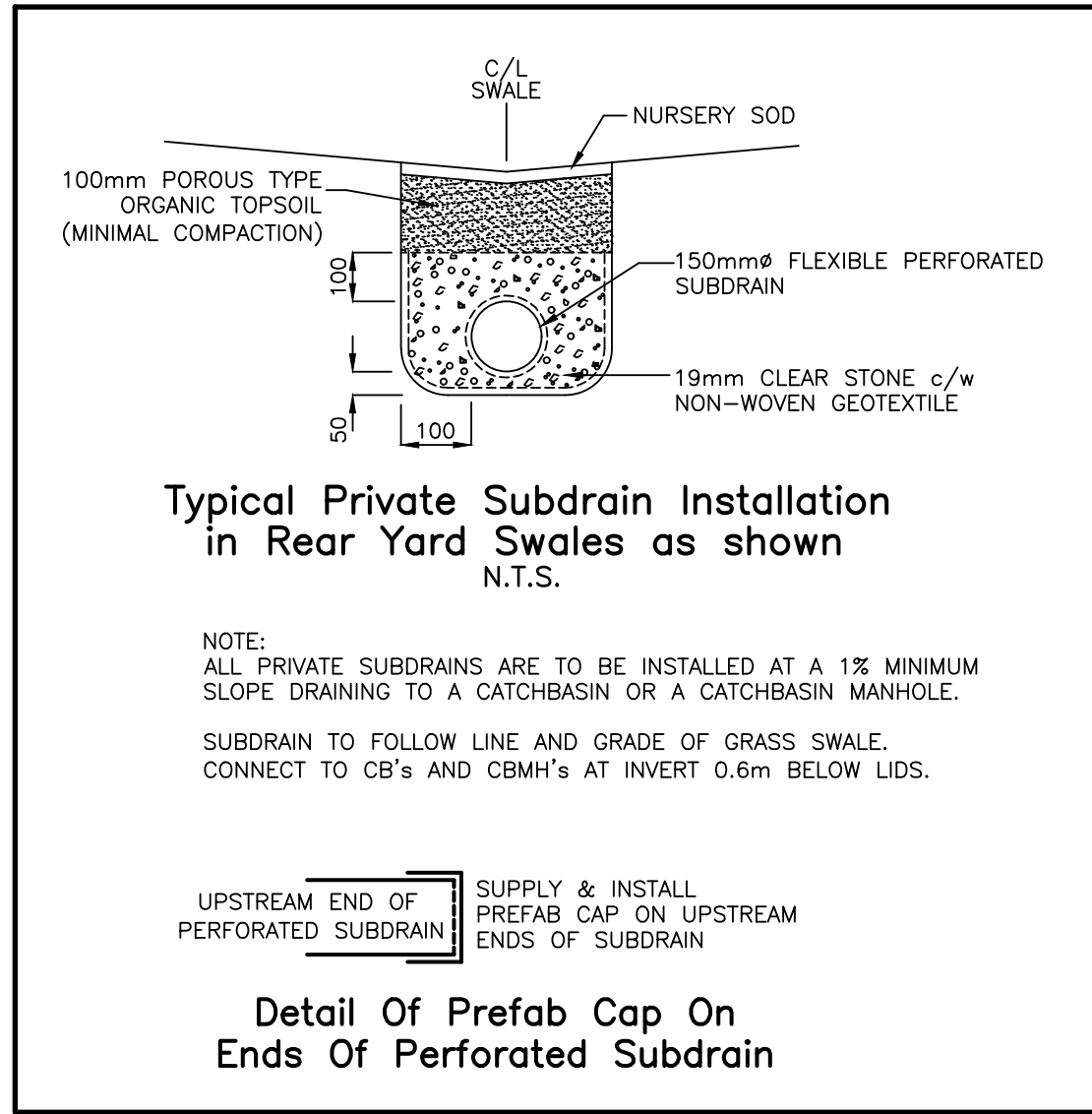
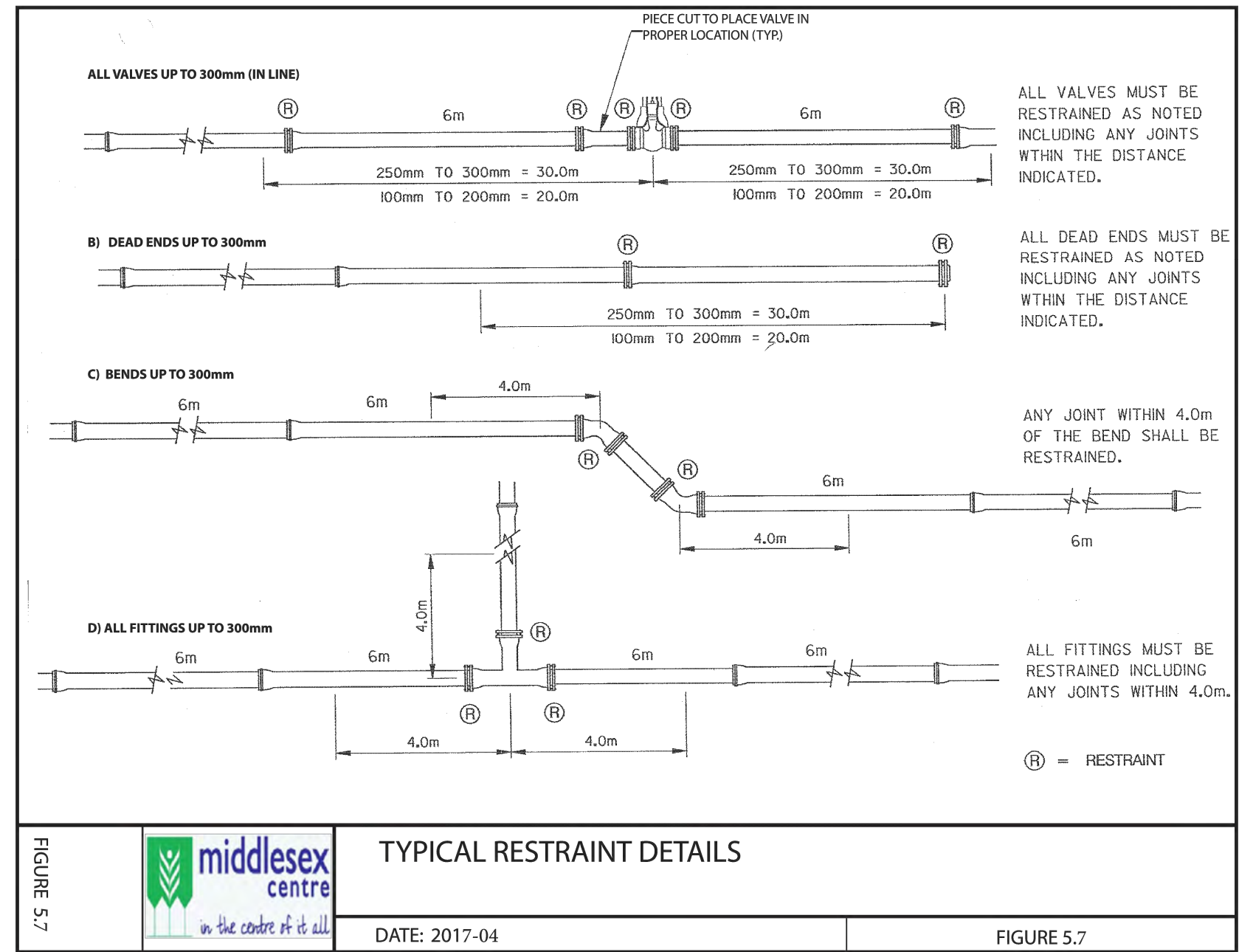
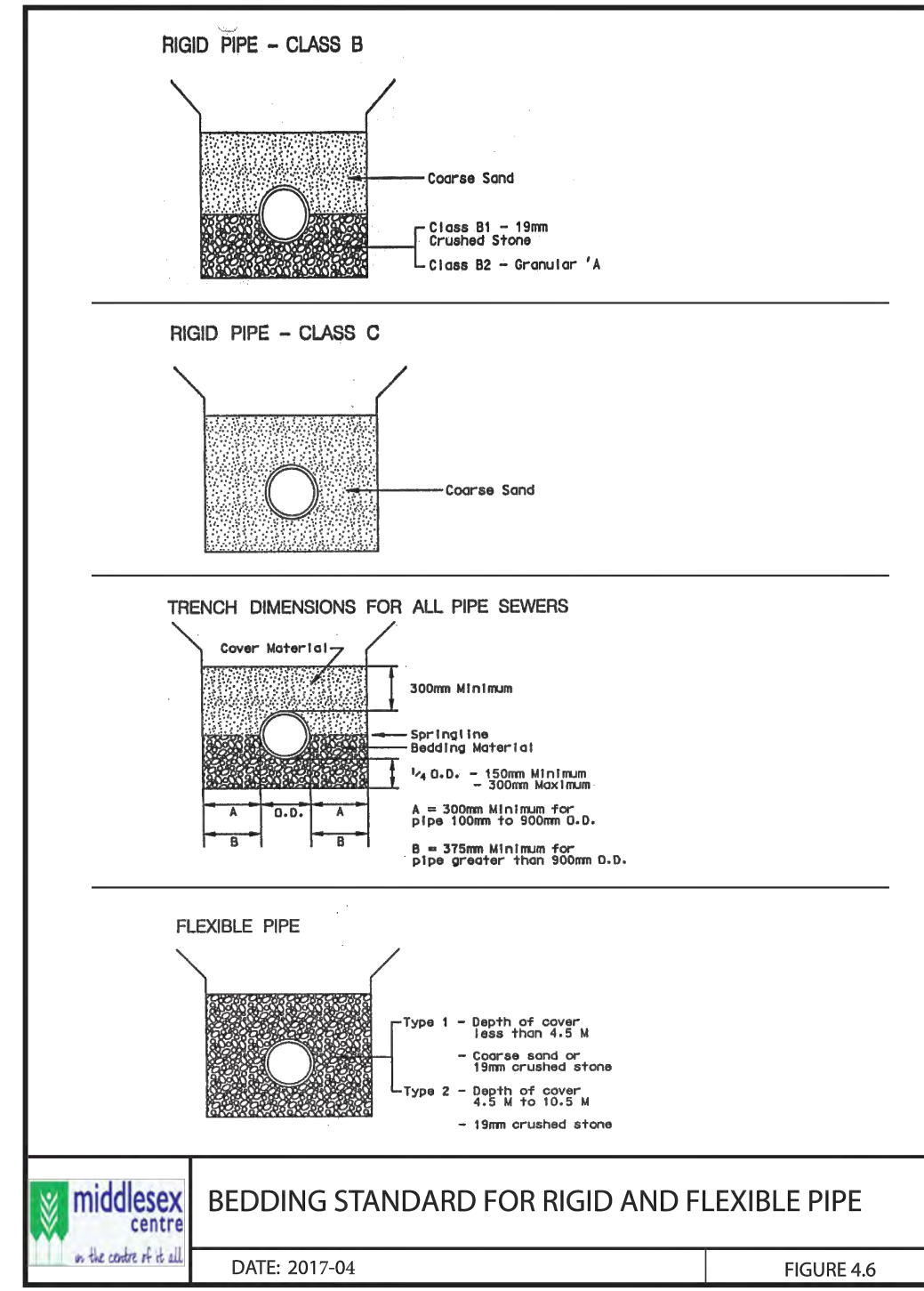
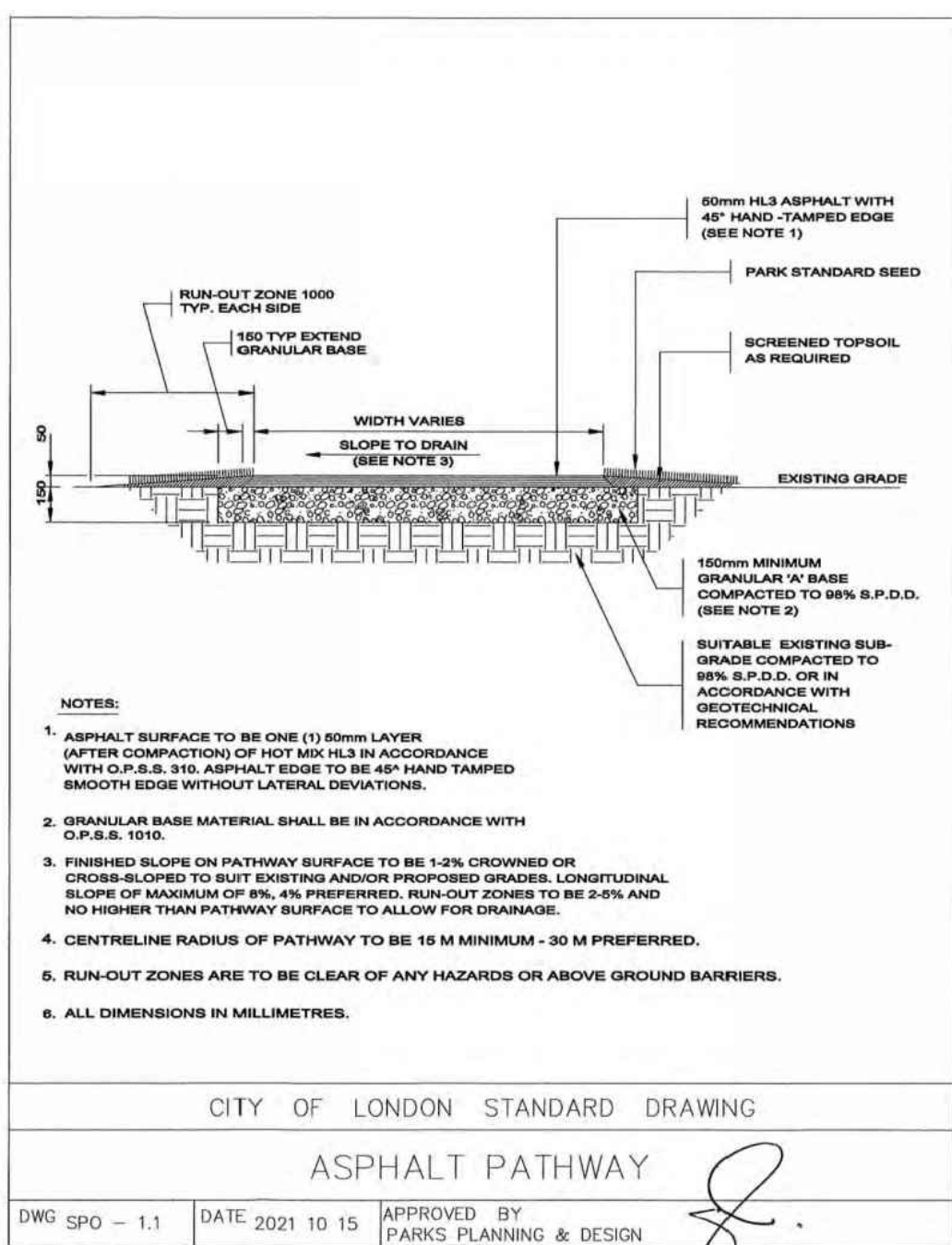
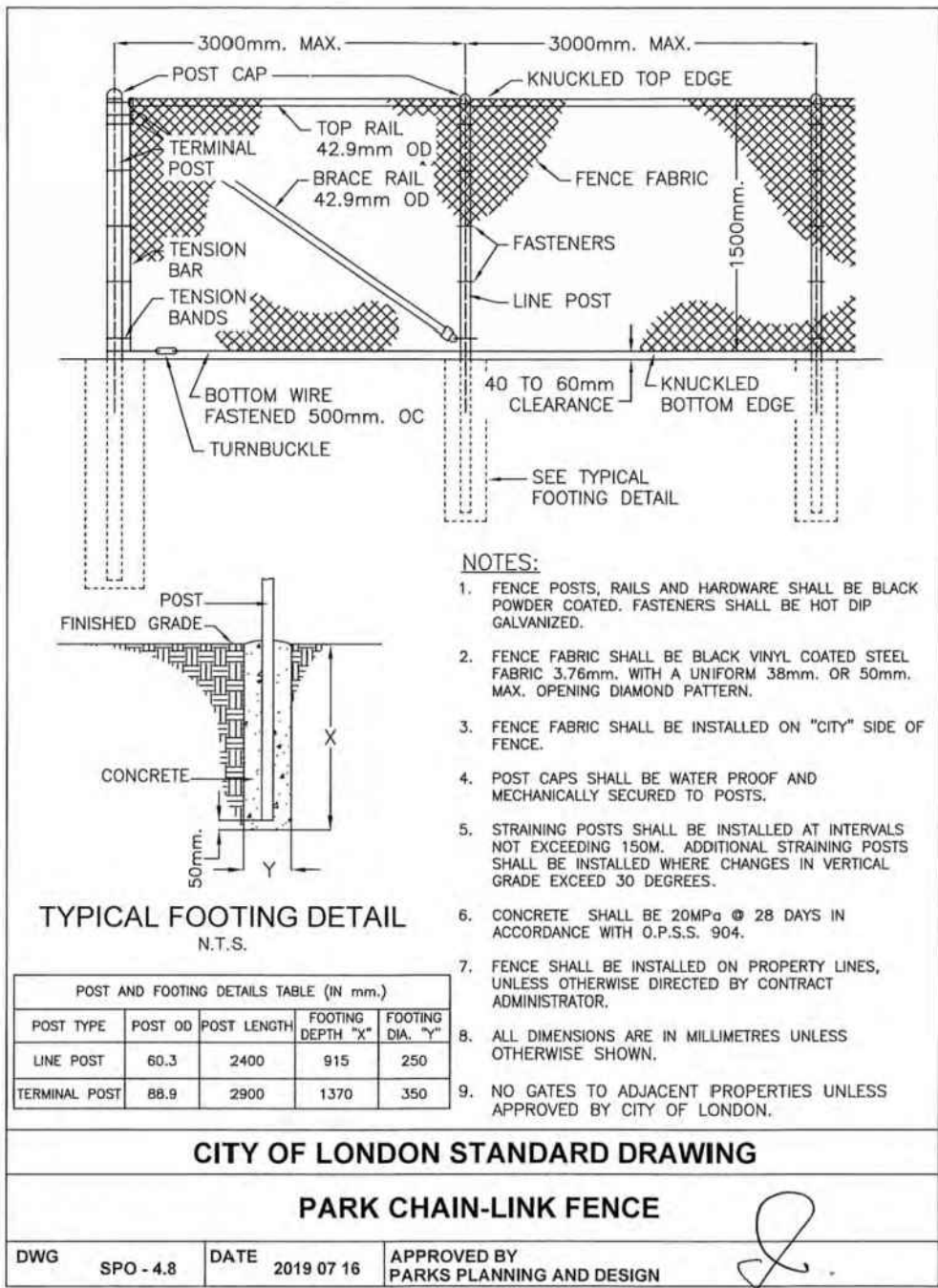
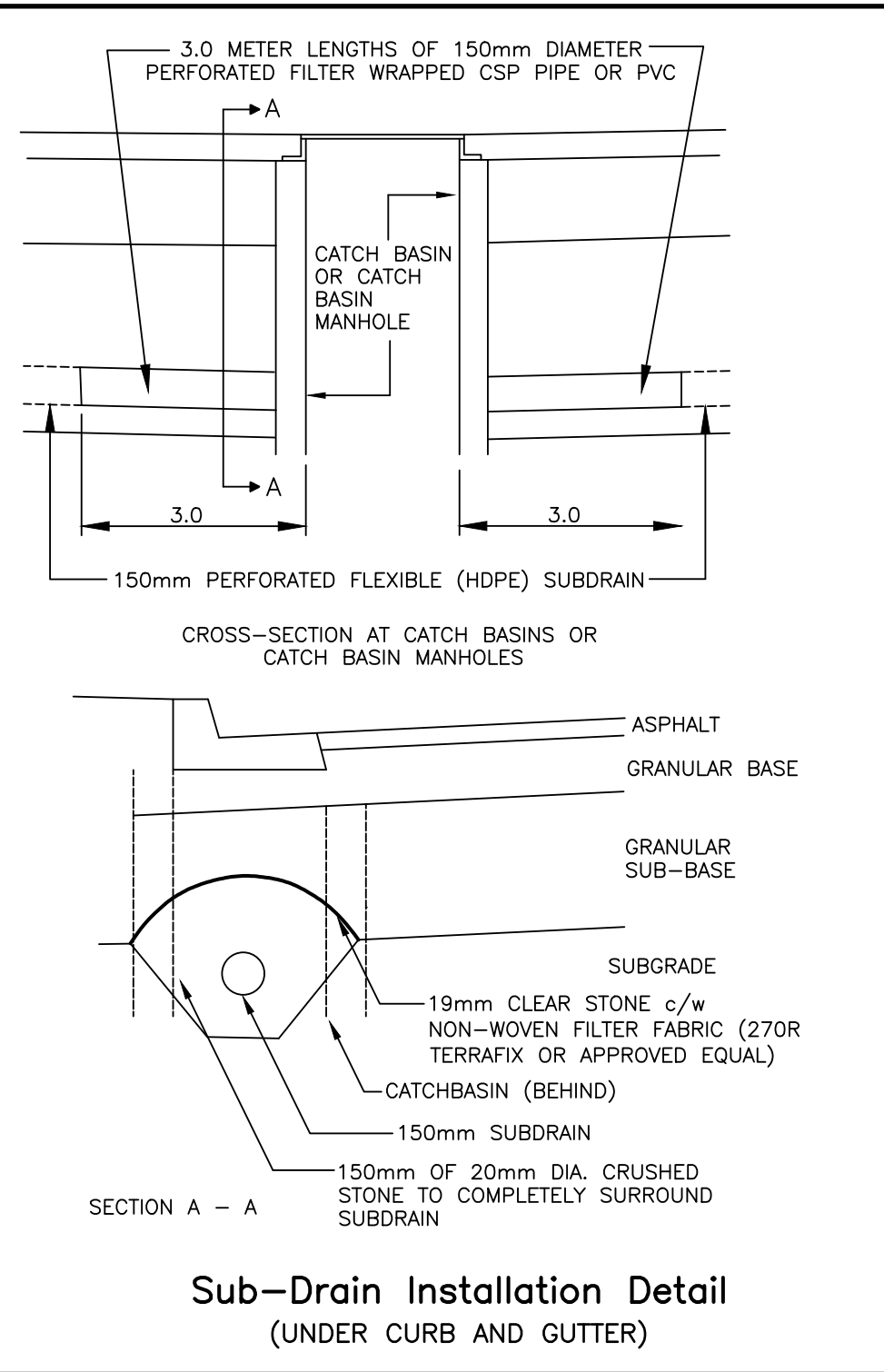
- SERVICES TO BE 25mm DIA MUNICIPEX.
- CROSS-LINKED POLYETHYLENE (PEX) (MUNICIPEX BY REHAU OR BLUE 904 BY IPWC) TO CSA-B137.5 WITH STAINLESS STEEL INSERTS AT BRASS COMPRESSION FITTINGS (AWWA C-800) AND 10 GAUGE STANDARD COPPER TRACER WIRE (PLASTIC COATED) SECURED AT 3.0m SPACING AND LOOPED AT EACH VALVE BOX. SNAKING OF 50# PEX TUBING SHALL PROVIDE 2.0m EXTRA LENGTH TO ACCOMMODATE THERMAL EFFECTS.
- SERVICES TO BE INSTALLED IN ACCORDANCE WITH FIGURE 5.10 STANDARD INSTALLATION OF 20mm AND 25mm WATER SERVICE.
- SERVICE SADDLE TO BE PROVIDED FOR ALL PVC PIPE.
- CURB STOPS TO BE LOCATED 300mm FROM PROPERTY LINE ON STREET SIDE; CURB STOPS TO HAVE STAINLESS STEEL COTTER PINS.
- MAIN COCK AND CURB STOP TO OPEN COUNTER CLOCKWISE.
- APPROVED CURB AND MAIN STOPS:
  - CAMBRIDGE BRASS
  - FORD
  - MUELLER

**HYDRANTS**

- HYDRANTS TO BE AWWA C-502 FOR DRY BARREL WITH PUSH ON JOINTS TO ANSI/AWWA C111/A21.11 WITH BREAK FLANGE.
- HYDRANTS ARE TO OPEN COUNTER CLOCKWISE.
- EACH HYDRANT TO BE CONTROLLED BY A GATE VALVE LOCATED IN FRONT OF THE HYDRANT.
- HYDRANTS TO HAVE CHROME YELLOW HIGH GLOSS EXTERIOR PAINT OVER QUICK DRY RED OXIDE PRIMER.
- TO BE INSTALLED MINIMUM 1.5m FROM ANY DRIVEWAY; MINIMUM COVER OF 1.7m AND MAXIMUM 1.9m; FLANGE GRADE TO BE A MINIMUM OF 100mm AND MAXIMUM OF 300mm FROM FINISHED GRADE.

**APPROVED HYDRANTS:**

- CANADA VALVE CENTURY

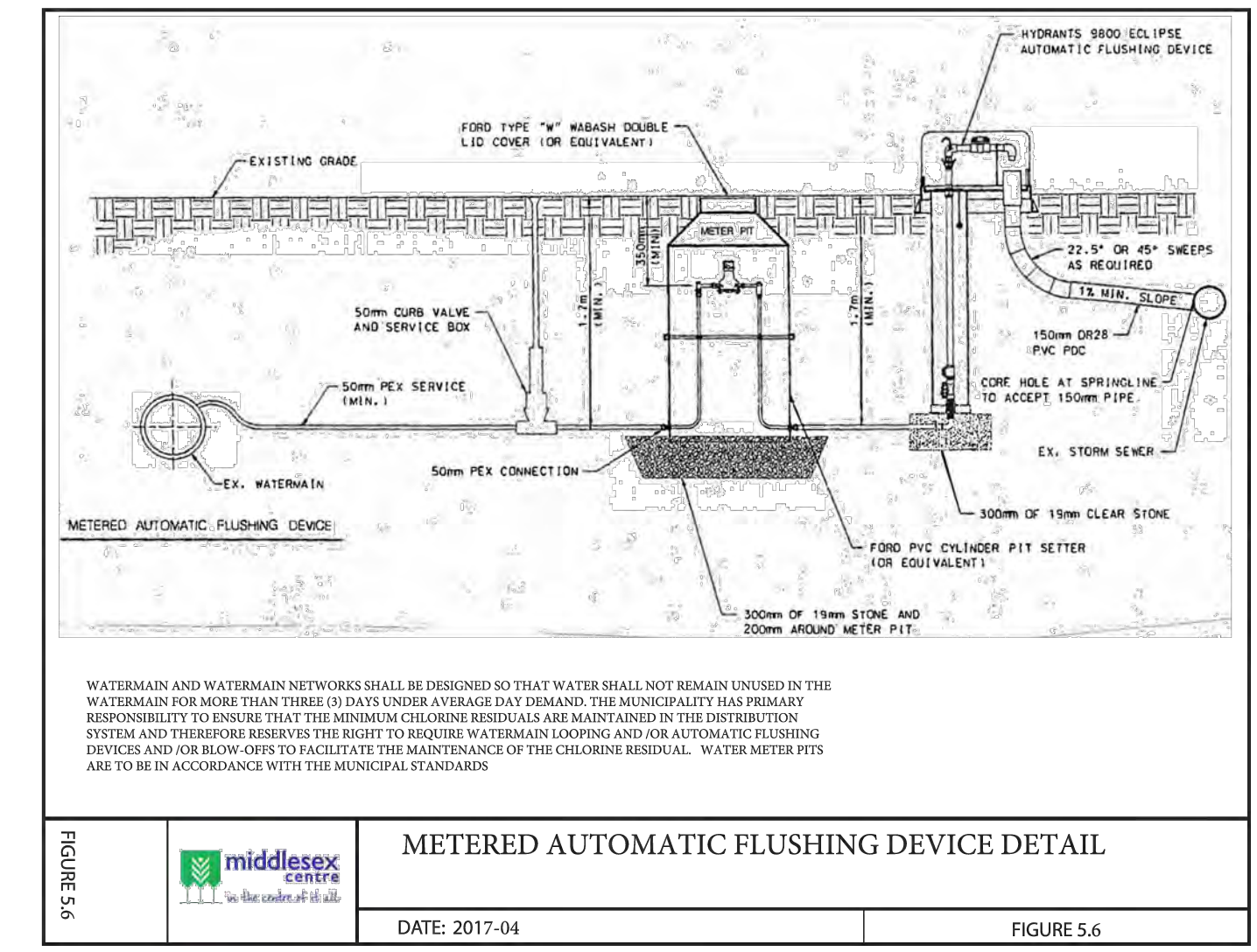
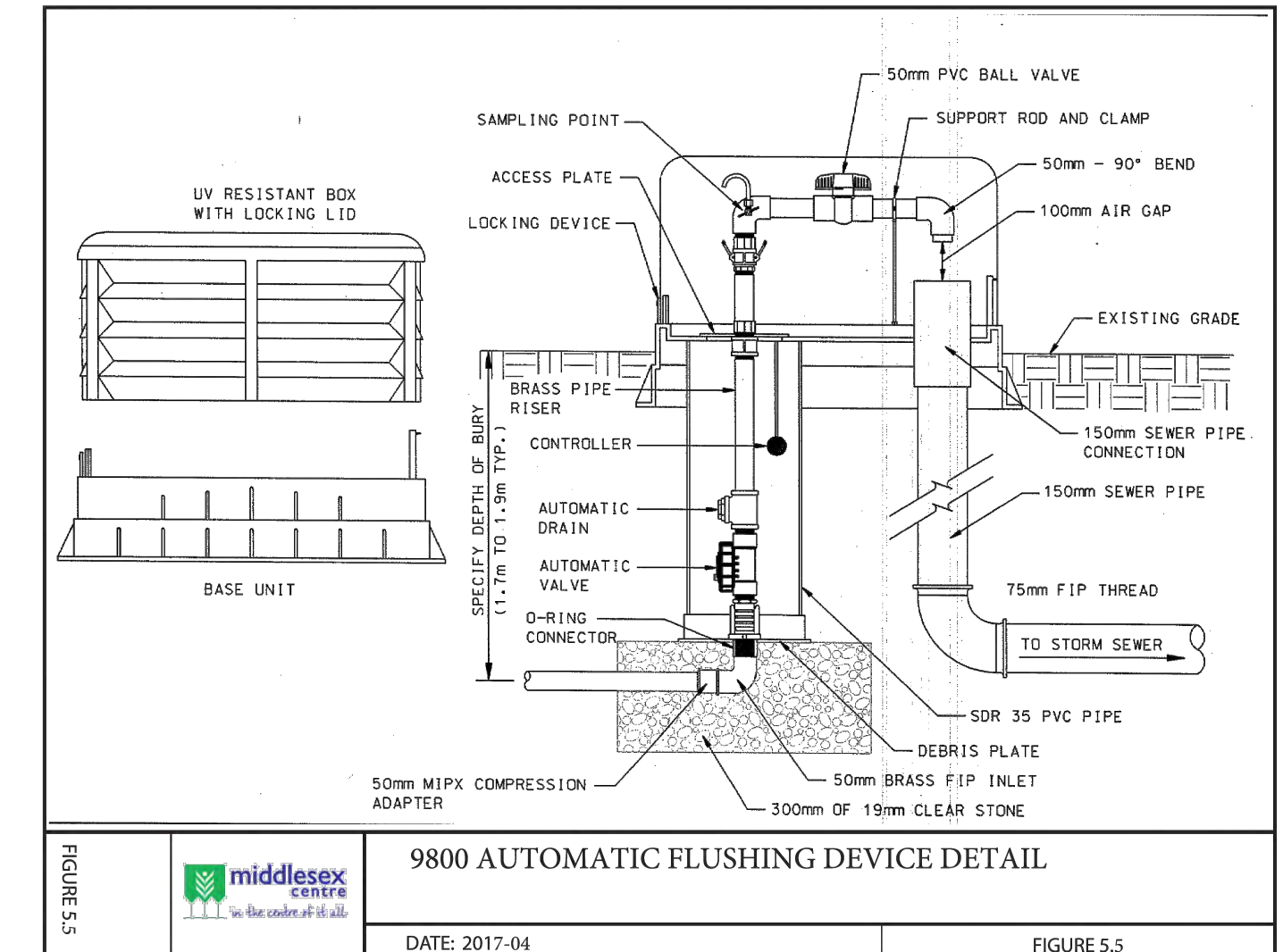
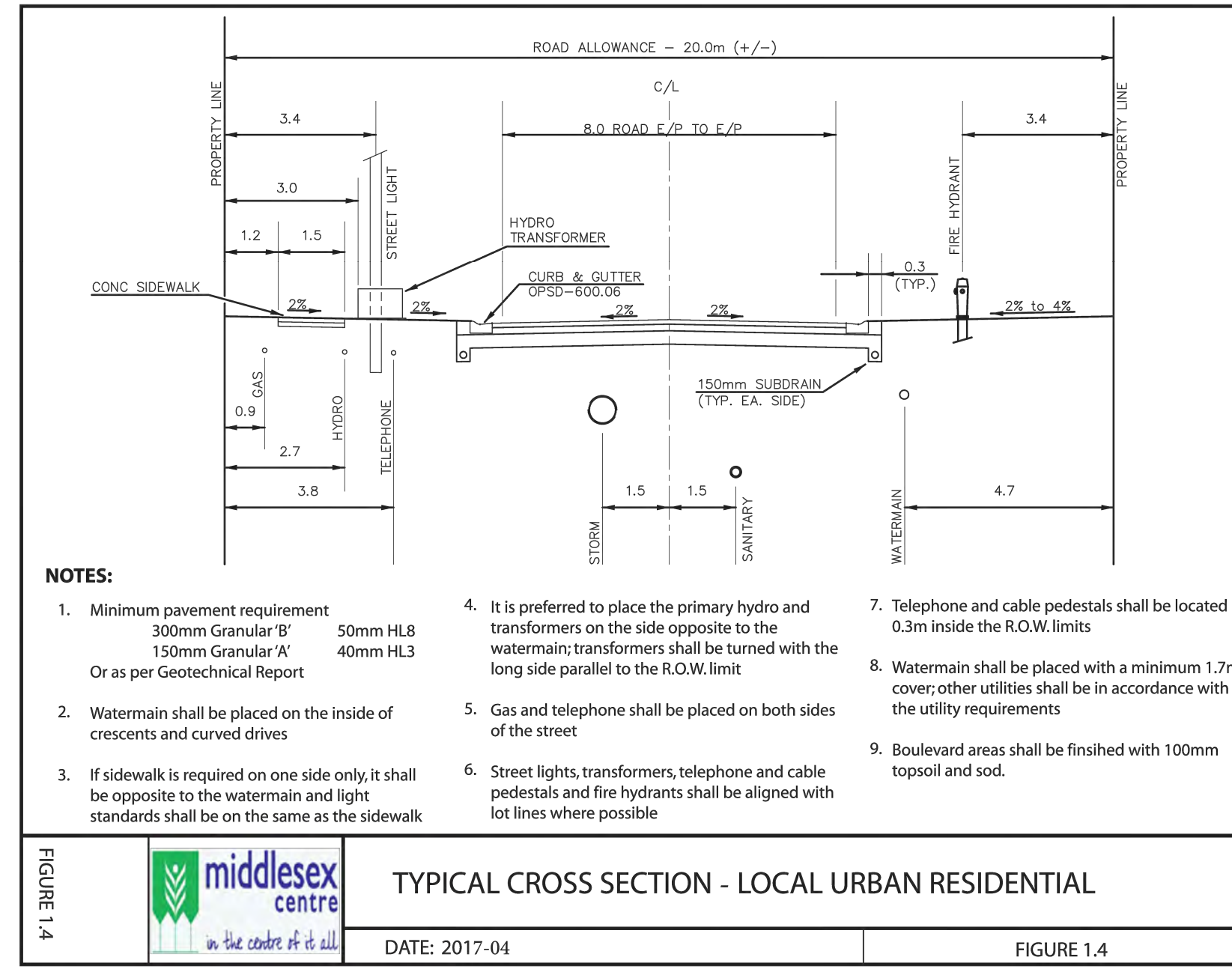


**PAVEMENT DESIGN TABLE**

STREET	HL3 SURFACE COURSE	HL8 BINDER COURSE	GRANULAR 'A' BASE	GRANULAR 'B' SUB-BASE
ALL INTERNAL ROADS	40mm	50mm	150mm	300mm

**NOTES:**

- GRANULAR 'A' SHALL BE COMPACTED TO 100% S.P.M.D.D.
- GRANULAR 'B' SHALL BE COMPACTED TO 100% S.P.M.D.D.
- ASPHALT MATERIAL SHALL BE SUPPLIED AND PLACED IN ACCORDANCE WITH O.P.S.S. FORMS 310, CONFORM TO THE REQUIREMENTS OF O.P.S.S. 1150 AND UNIFORMLY COMPACTED TO 97% MARSHALL DENSITY.
- SHOULD CONSTRUCTION TAKE PLACE UNDER WET SUB-GRADE OR WEATHER CONDITIONS, SUB-GRADE PREPARATION AND GRANULAR REQUIREMENTS SHOULD BE REVIEWED BY THE GEOTECHNICAL ENGINEER.
- GRANULAR 'B' SUB-BASE MAY BE REVISED AT THE GEOTECHNICAL ENGINEER'S DISCRETION.



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EXISTING SERVICES	DRAWING #, SOURCE	DATE	AS CONSTRUCTED SERVICES	COMPLETION	DETAILS	No.	REVISIONS	DATE	CONSULTANT	CONSULTANT OR DIVISION
					DESIGN BY CW	1	ISSUED FOR FIRST SUBMISSION	MAR 24/21	DEVENG	<b>London Office</b> 41 Adelaide St. N., Unit 71 (519) 672-0310  <b>Paris Office</b> 31 Mechanic St., Unit 301 (519) 442-1441  <b>development engineering</b> (London) Limited  CONSULTING CIVIL ENGINEERS
					DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG	
					CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG	
					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG	
						5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG	
						6	ISSUED FOR FOURTH SUBMISSION	JUL. 28/22	DEVENG	
						7	ISSUED FOR FIFTH SUBMISSION	SEP. 09/22	DEVENG	
						8	ISSUED FOR SIXTH SUBMISSION	SEP. 28/22	DEVENG	
						9	REVISED KIOSK LOCATION ON SONGIRD	OCT. 27/22	DEVENG	

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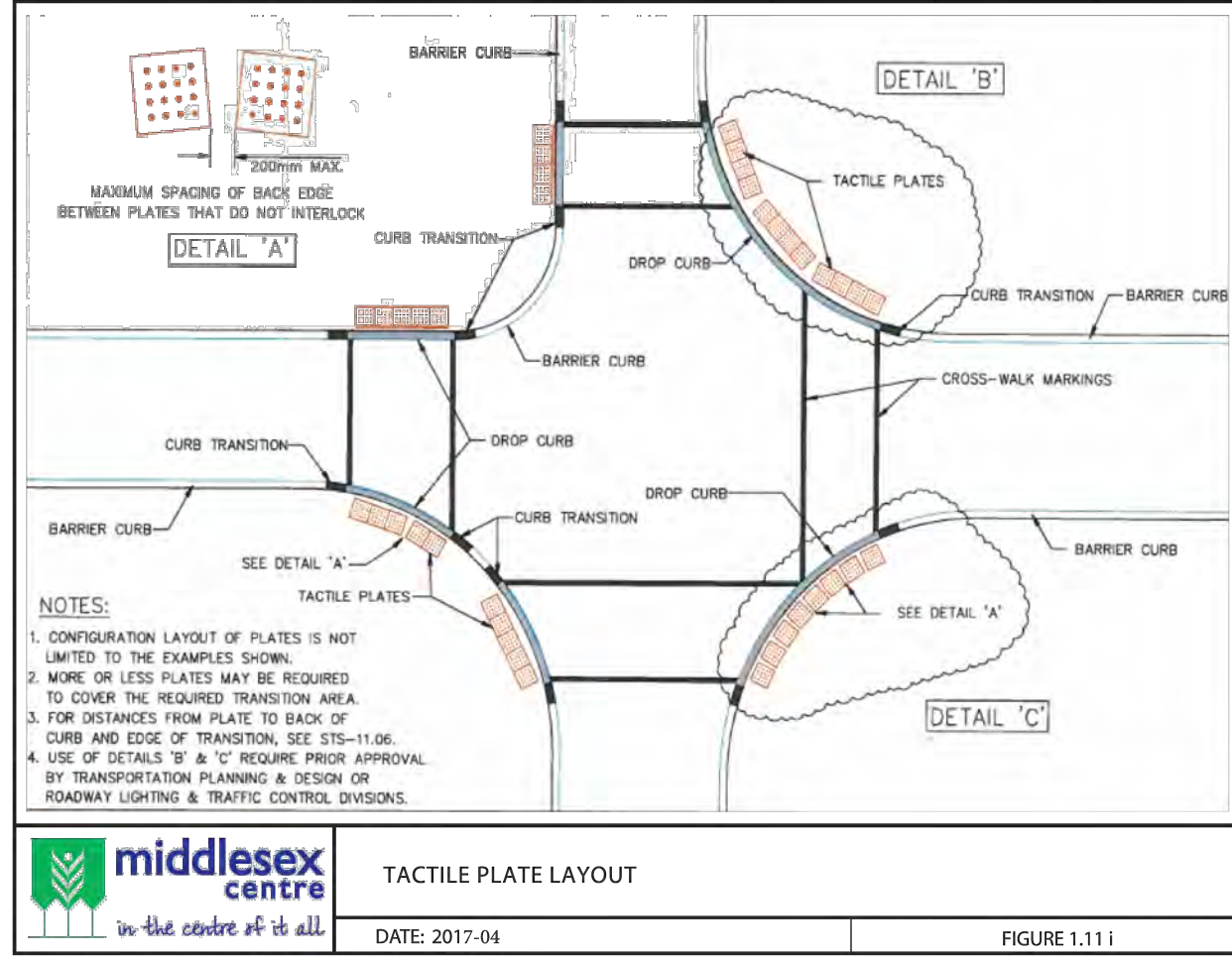
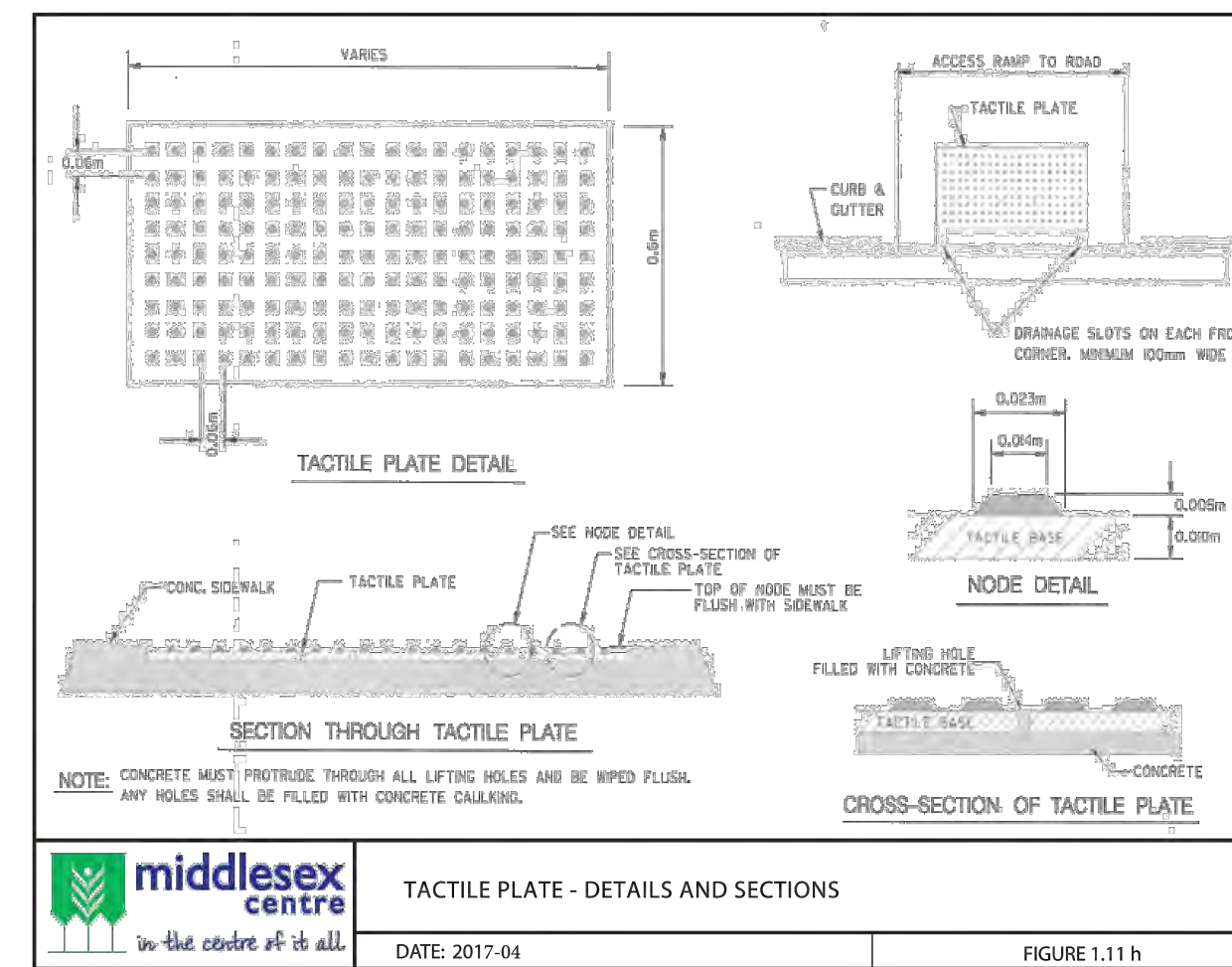
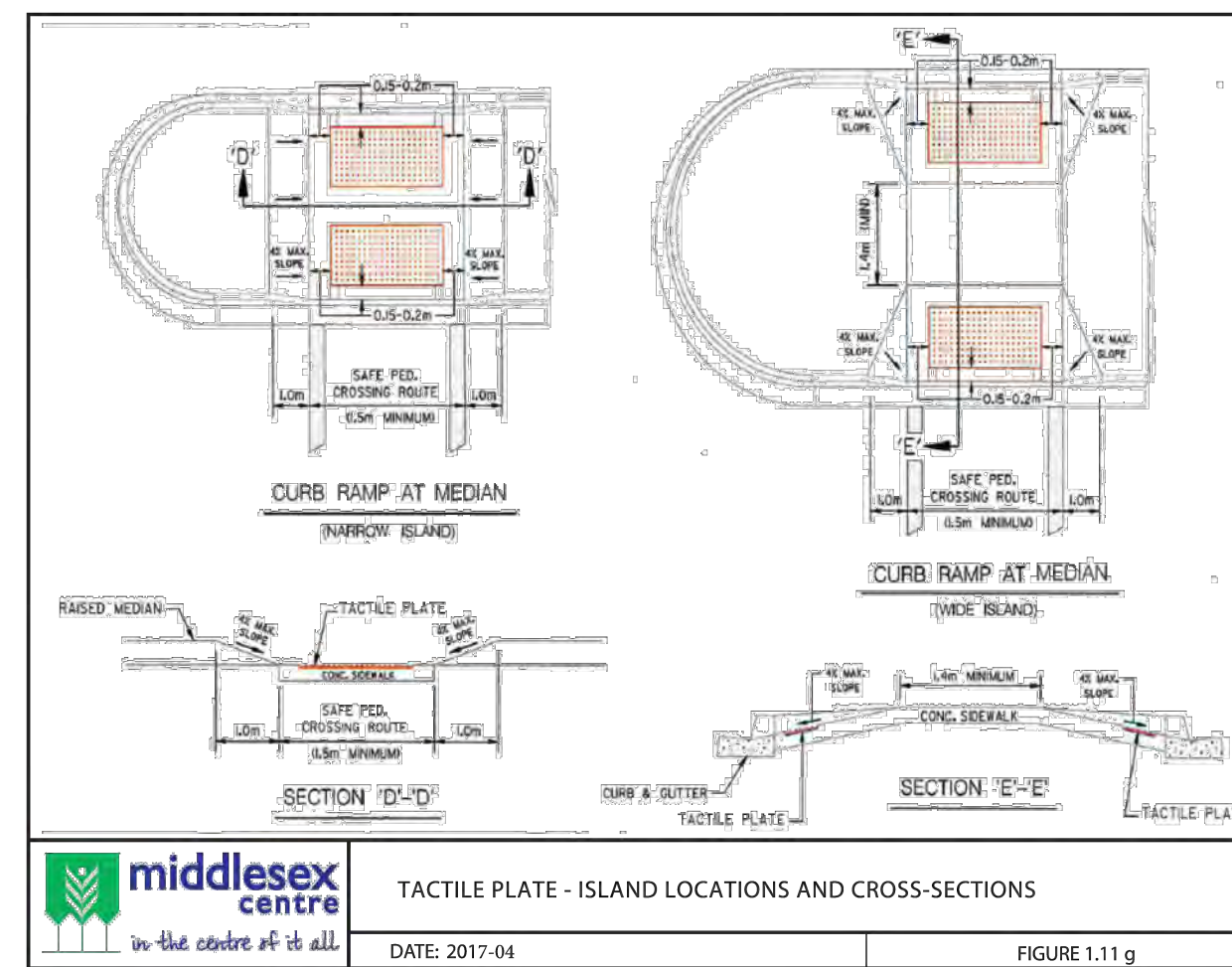
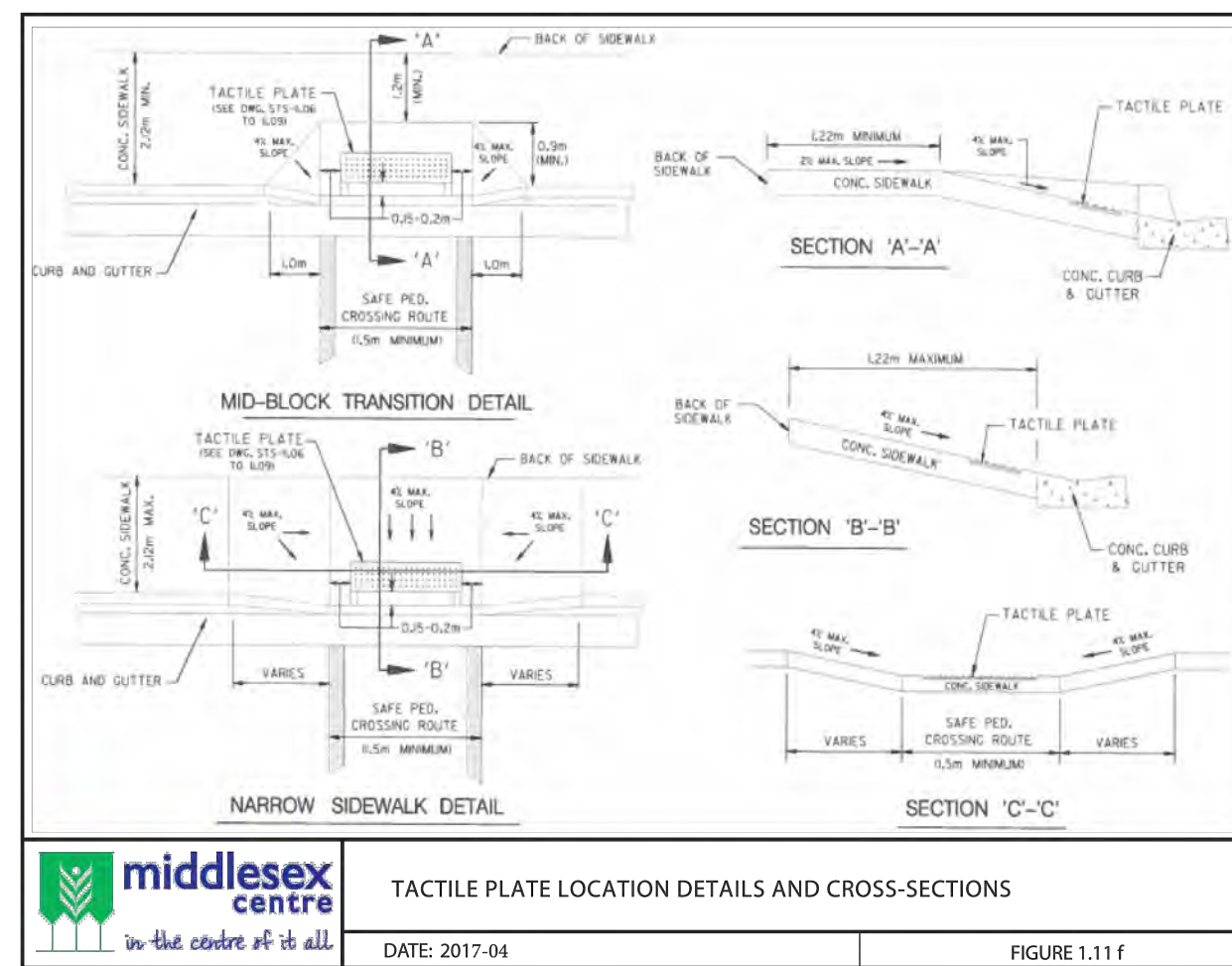
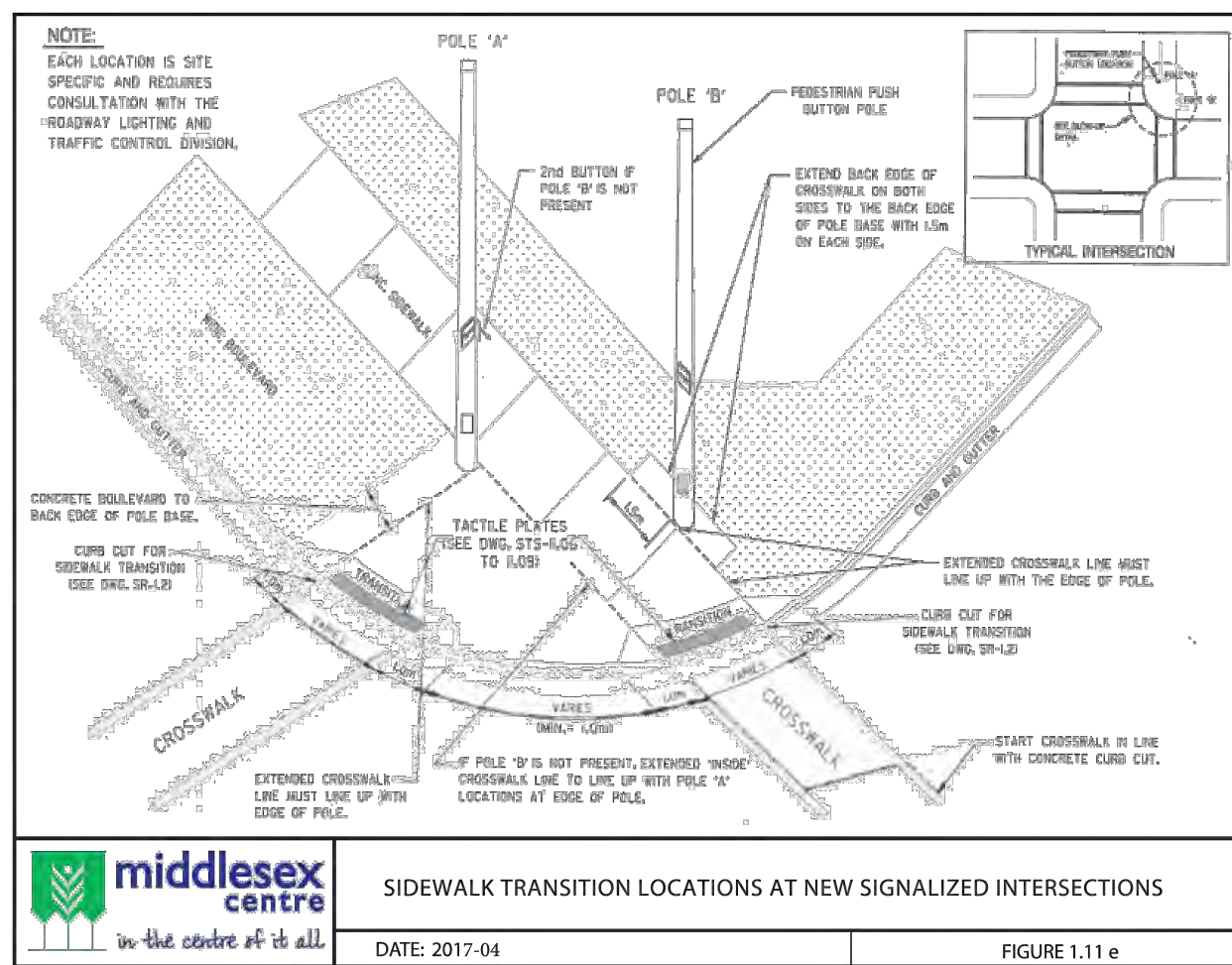
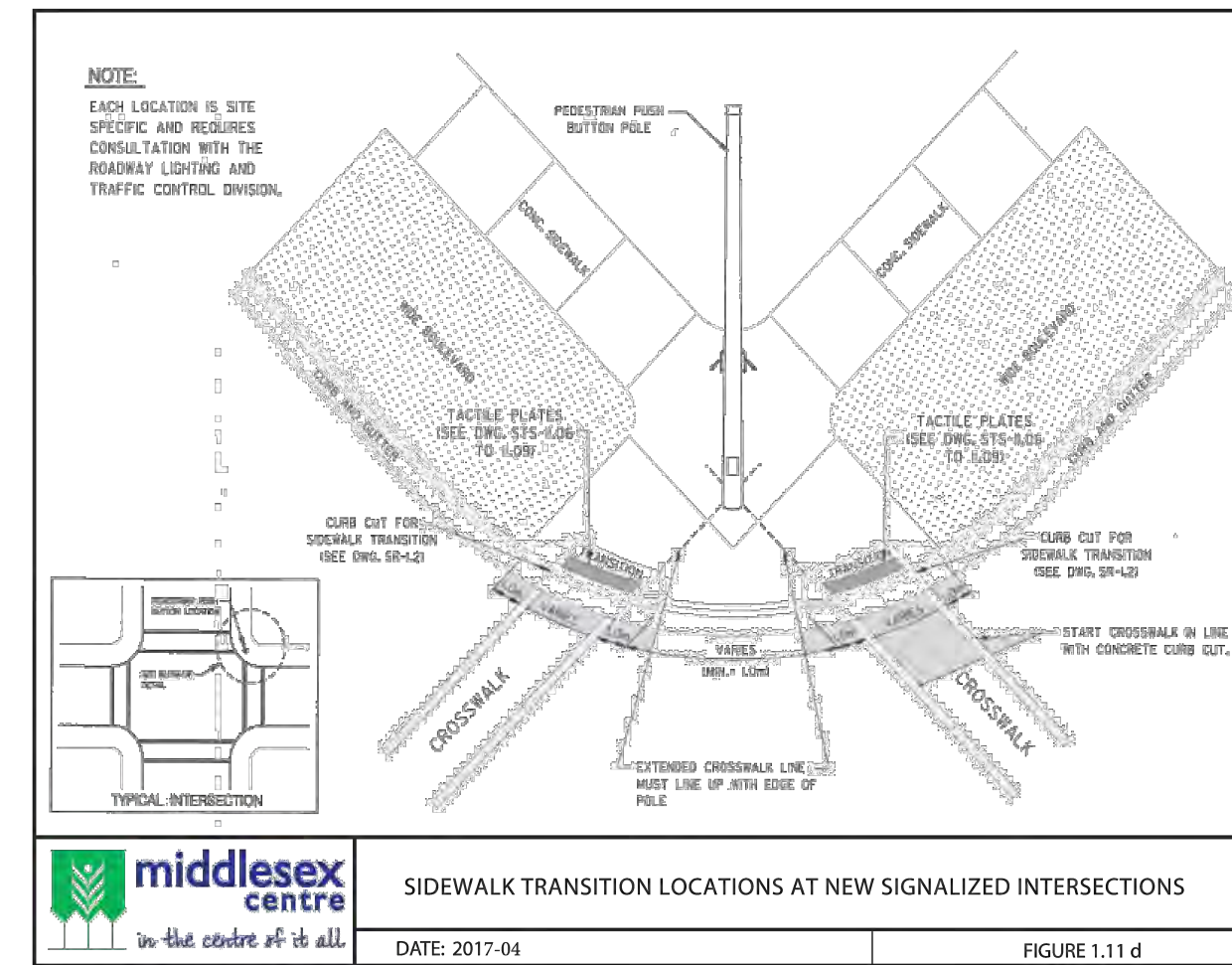
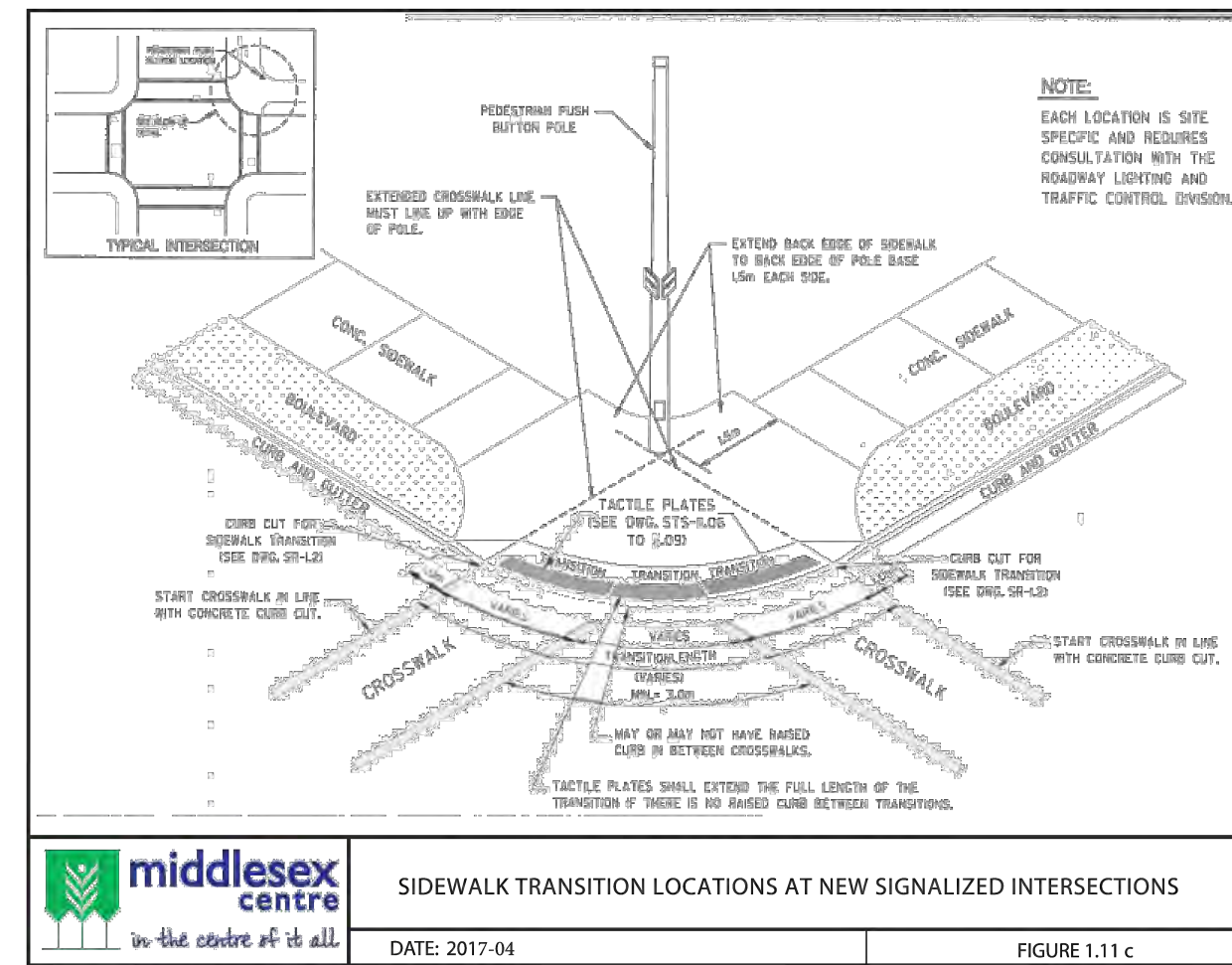
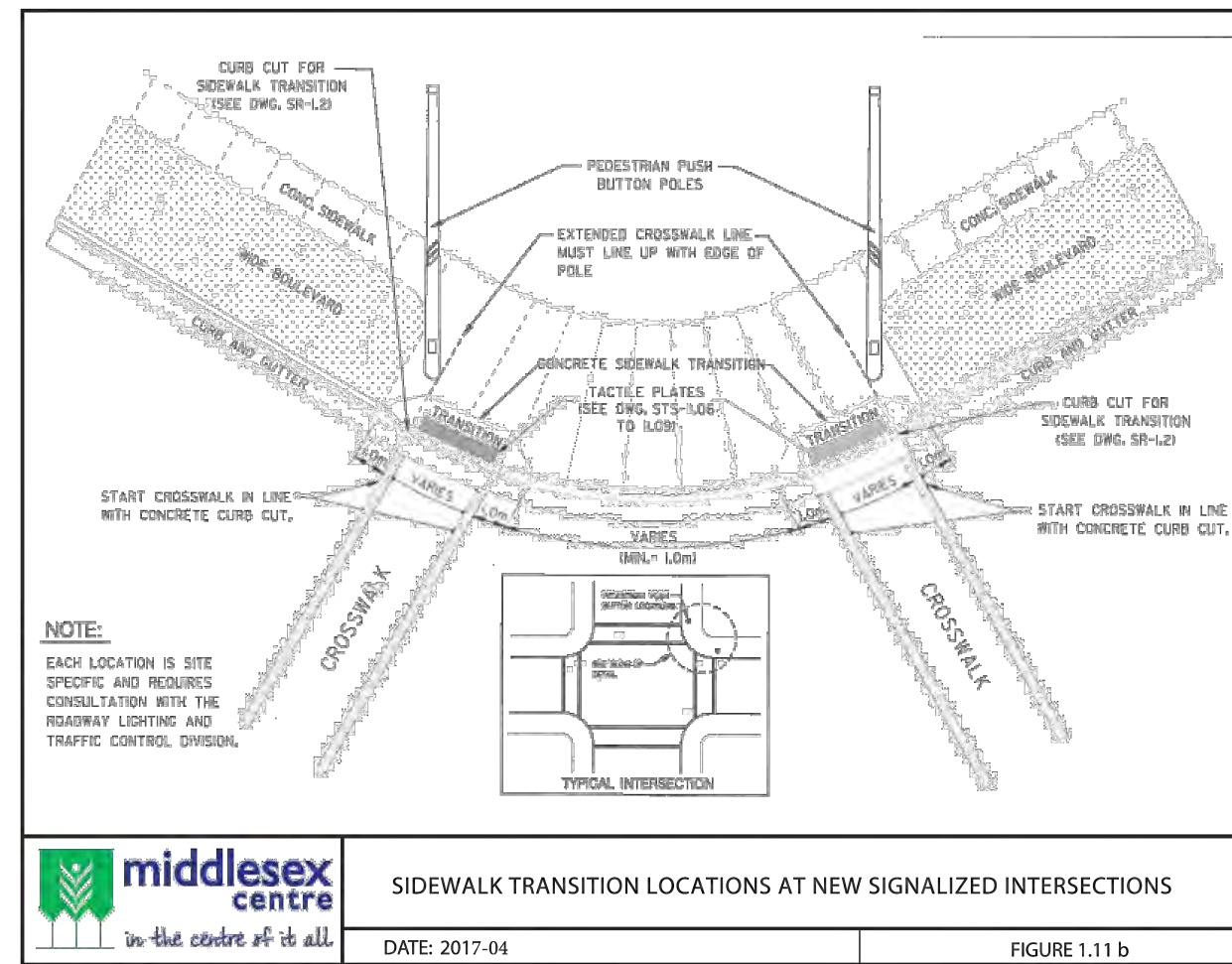
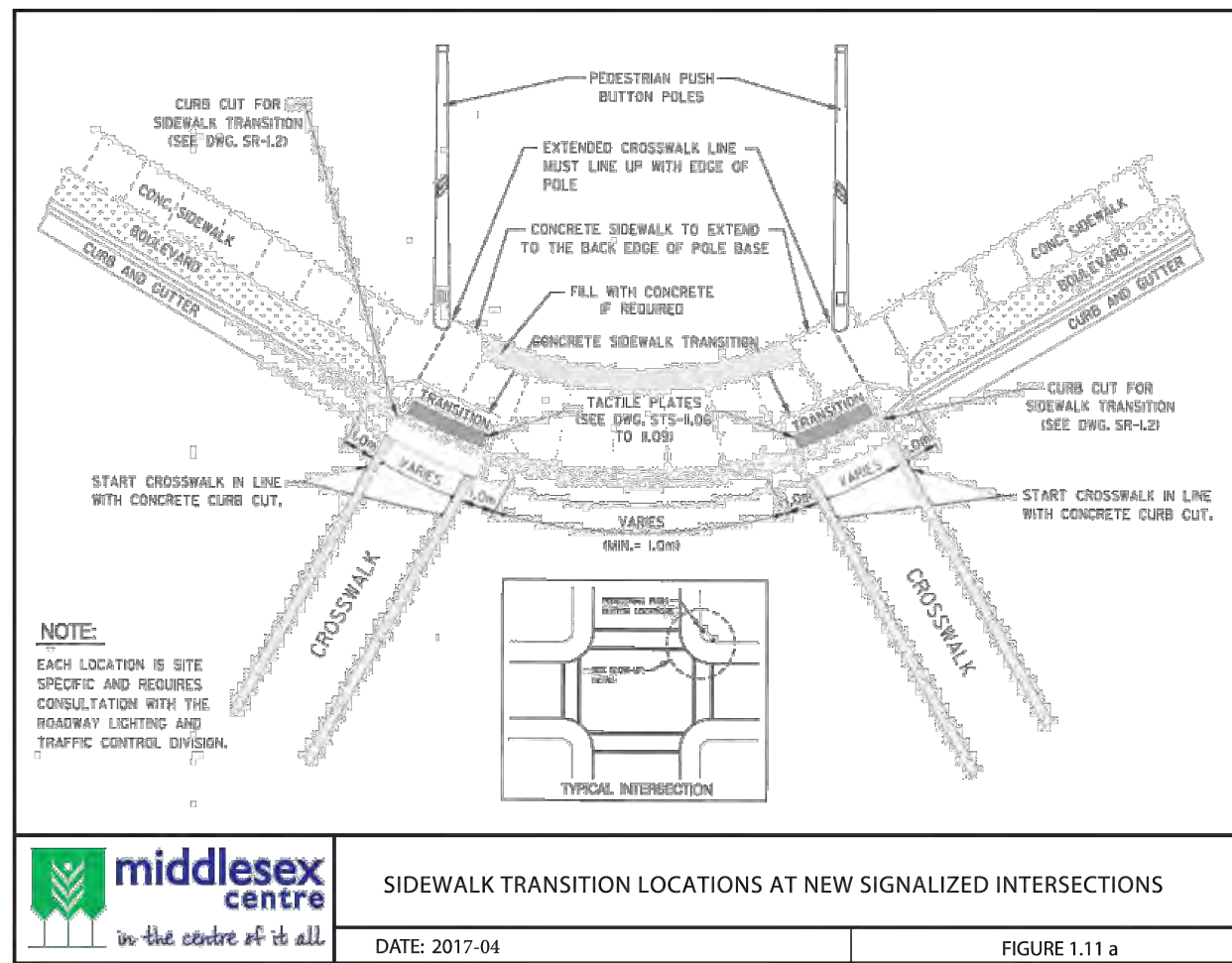
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**TIMBERWALK SUBDIVISION - PHASE 5**  
ILDERTON ONTARIO  
SIFTON PROPERTIES LIMITED

**GENERAL CONSTRUCTION  
DETAILS**

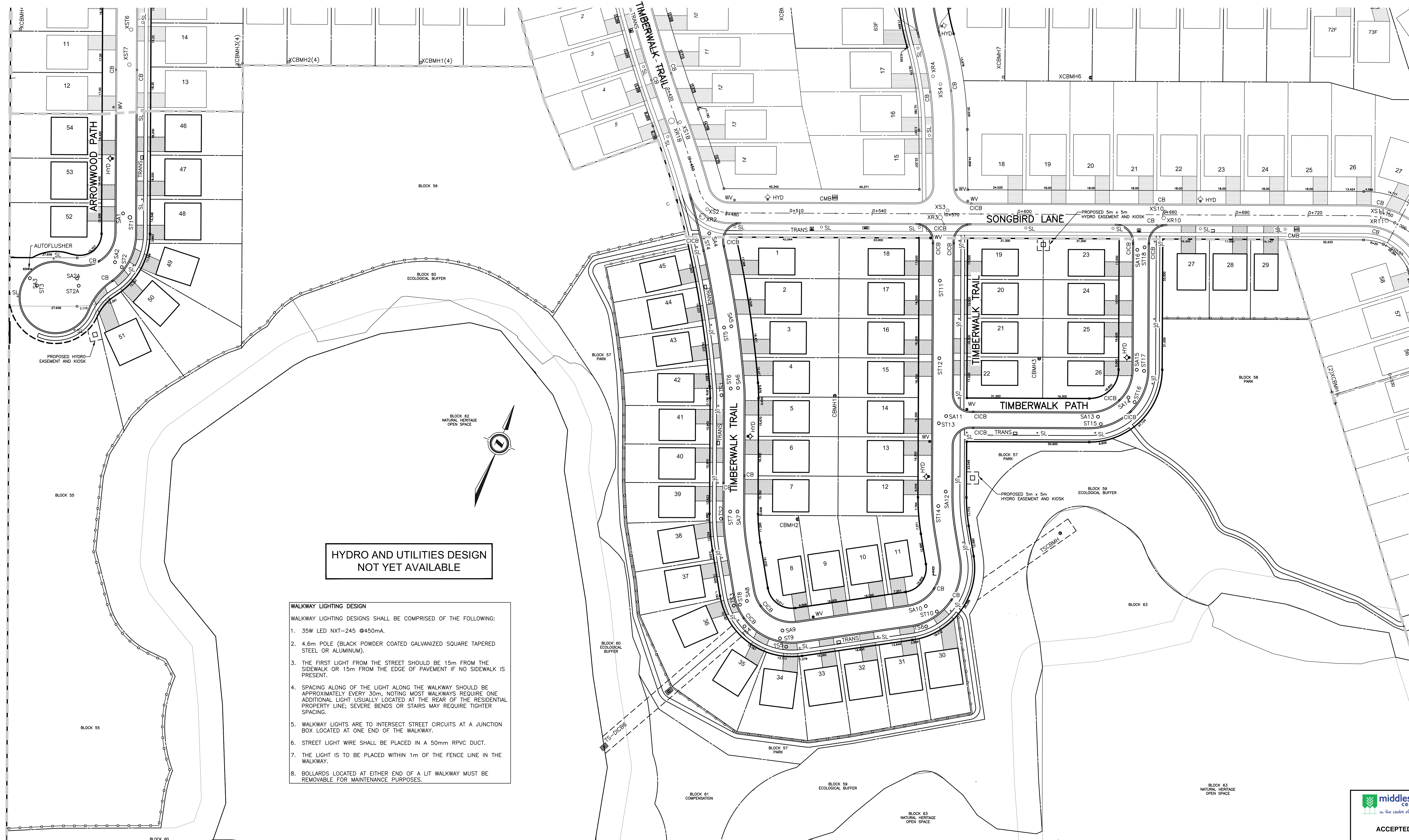
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SHEET No. **20**  
PLAN FILE No.



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October 28, 2022

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				DRAWN BY CW	2	ISSUED FOR SECOND SUBMISSION	MAY 17/21	DEVENG							21
				CHECKED BY JF/AB/DH	3	ISSUED FOR THIRD SUBMISSION	JULY 15/21	DEVENG							
				F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG							
					5	REVISED ARROWWOOD CUL-DE-SAC	MAR. 23/22	DEVENG							
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					8	ISSUED FOR SIXTH SUBMISSION	SEP. 28/22	DEVENG							
					9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG							
					D0007P5-NOTES & DETAILS.DWG										



HYDRO AND UTILITIES DESIGN  
NOT YET AVAILABLE

- WALKWAY LIGHTING DESIGN**
- WALKWAY LIGHTING DESIGNS SHALL BE COMPRISED OF THE FOLLOWING:
- 35W LED NXT-245 @450mA.
  - 4.6m POLE (BLACK POWDER COATED GALVANIZED SQUARE TAPERED STEEL OR ALUMINUM).
  - THE FIRST LIGHT FROM THE STREET SHOULD BE 15m FROM THE SIDEWALK OR 15m FROM THE EDGE OF PAVEMENT IF NO SIDEWALK IS PRESENT.
  - SPACING ALONG OF THE LIGHT ALONG THE WALKWAY SHOULD BE APPROXIMATELY EVERY 30m, NOTING MOST WALKWAYS REQUIRE ONE ADDITIONAL LIGHT USUALLY LOCATED AT THE REAR OF THE RESIDENTIAL PROPERTY LINE; SEVERE BENDS OR STAIRS MAY REQUIRE TIGHTER SPACING.
  - WALKWAY LIGHTS ARE TO INTERSECT STREET CIRCUITS AT A JUNCTION BOX LOCATED AT ONE END OF THE WALKWAY.
  - STREET LIGHT WIRE SHALL BE PLACED IN A 50mm RPVC DUCT.
  - THE LIGHT IS TO BE PLACED WITHIN 1m OF THE FENCE LINE IN THE WALKWAY.
  - BOLLARDS LOCATED AT EITHER END OF A LIT WALKWAY MUST BE REMOVABLE FOR MAINTENANCE PURPOSES.



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					F.B.K. 765	4	ISSUED TO SCRCA	FEB. 10/22	DEVENG
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						9	REVISED KIOSK LOCATION ON SONGBIRD	OCT. 27/22	DEVENG

CONSULTANT OR DIVISION

London Office  
41 Adelaide St. N., Unit 71  
(519) 672-0310

Paris Office  
31 Mechanic St., Unit 301  
(519) 442-1441

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SCALE

SCALE - 1 : 1000

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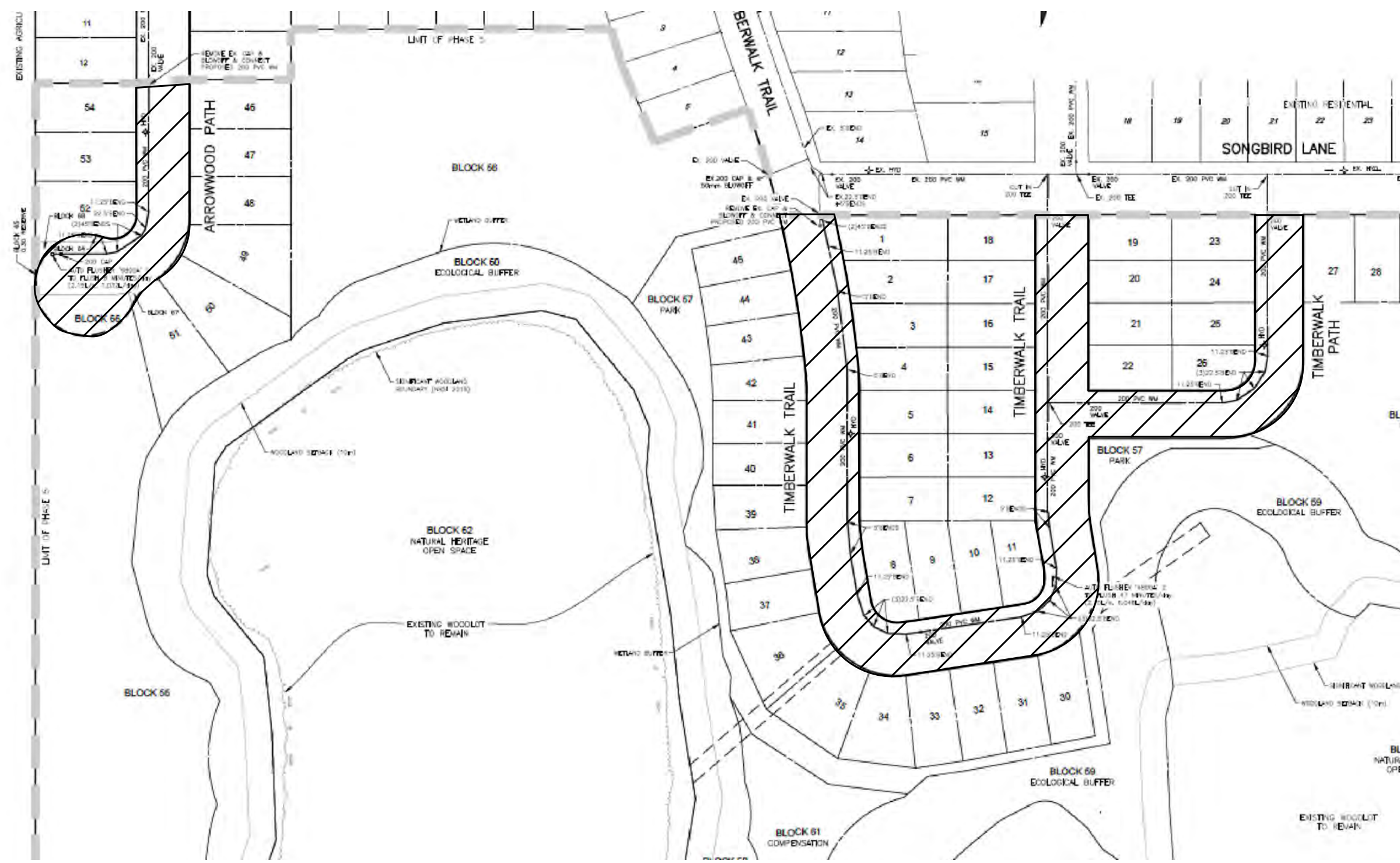
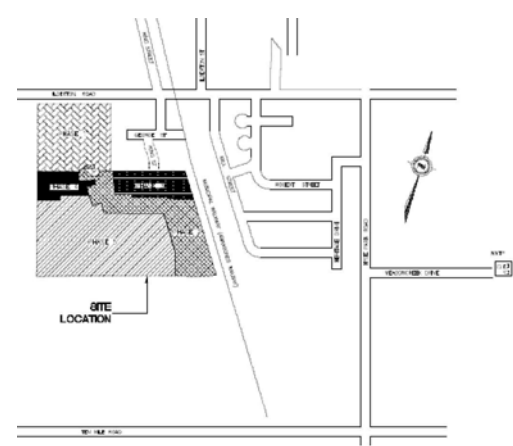
**PROPOSED SURFACE FEATURES**

PROJECT No.	D0007P5
SHEET No.	22
PLAN FILE No.	

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**KEY PLAN**



**KEY PLAN**

SCALE: NTS

AREA OF WORK

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	POLE LIGHT
	STREET LIGHTING PULL BOX/ JUNCTION BOX
	HYDRO PAD MOUNTED TRANSFORMER
	POWER PEDESTAL
	DRAWING KEY NOTE

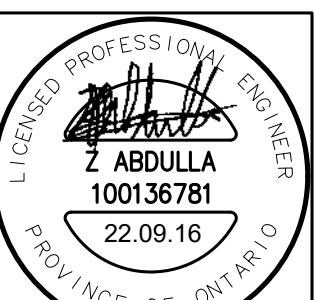
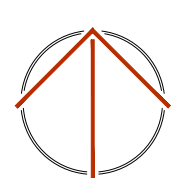
**ELECTRICAL SPECIFICATION**  
Section 16000

- GENERAL CONDITIONS
  - All work shall be in accordance with the latest edition of the Ontario Electrical Safety Code, the local Electrical Safety Authority Inspection office, the Ontario Building Code, the Ontario Fire Code and any other local regulations having jurisdiction over the work of this trade.
  - Before tendering, examine the site and all drawings and specifications of all trades and be familiar with the work of this trade. No extras will be allowed for the failure to do so.
  - All electrical work shall comply with CSA electrical bulletins applicable at tender close. Where specific bulletins are not named they are still considered an integral part of this specification.
  - Provide all grounding and bonding to ground required, regardless if not shown on the drawings. Grounding shall be in accordance with the requirements of the Ontario Electrical Safety Code.
  - Provide all new materials having CSA, cUL, Warnock Hersey or other approval agency label and listing. All workmanship by this trade shall be first class, conforming to industry standard practices for safety, accessibility, durability and neatness for acceptance by the owners' representatives.
  - Arrange and pay for all permits and inspection fees required for the work of this trade. Submit to the local electrical inspection department and/or electrical supply authority any and all drawings required for permits, fees, approvals, examinations and services.
  - Provide all cutting and patching required for the work of this trade. All cutting and patching shall be performed by qualified trades persons. Include all costs for cutting and patching related to the work of this trade in the tender price.
  - Touch-up all shop painted equipment damaged in transit or during installation to match original shop finish.
  - Avoid accumulation of debris as the work progresses. On completion of the construction and prior to the final inspection and acceptance by the owner, clean up and remove from the site all scrap materials resulting from the work of this trade.
  - Co-ordinate the work of this trade with all other trades on the job so that the work may progress without any delay.
  - Prior to the final inspection, clean all electrical equipment. Clean all construction dust and dirt from installed equipment at the end of the job.
  - Upon completion of the work, provide the final unconditional certificate of acceptance from the local Electrical Safety Authority inspection office.
  - Provide a one year guarantee on all materials, and labour from the date of acceptance by the owner. Complete all warranty registration documentation on behalf of the building owner. Submit copies of completed documentation in Operations and Maintenance Manuals.
  - Submit shop drawings [eight copies] for the following equipment: breakers, panels, lighting fixtures etc. The shop drawings shall bear the name of the manufacturer, the manufacturer's catalogue number, and the consultant's designation, along with all pertinent information pertaining to that specific piece of equipment.
  - All electrical equipment shall be mounted plumb true.
  - Obtain one set of prints for as-built purposes and record on these prints all changes to the design drawings to reflect the actual construction conditions, equipment locations and equipment specifications. At the end of construction, and prior to the final inspection by the consultant, SUBMIT the as-built drawings for review. Submit CAD files of the As-Built drawings on CD. No final inspection will be performed until these drawings are submitted.
  - Prepare [three sets] of Operations and Maintenance Manuals for presentation to the owner. Provide copies of all reviewed shop drawings for the project, manufacturer's installation instructions, manufacturer's maintenance instructions, and copies of all test data, verification certificates, manufacturer's warranties and guarantees, the guarantee of this trade indicating start date and end date as well as contract numbers.
  - Where the word PROVIDE is used in these specifications or on the drawings, it has the meaning "Provide and install complete with all associated mounting hardware and connections".
- CONDUCTORS AND RACEWAYS
  - Use RWU90 copper conductors unless otherwise noted, CSA approved for the application. Size the conductors so that the maximum branch circuit voltage drop does not exceed 3%. Minimum conductor size is #6 AWG unless otherwise indicated.
  - Install conductors or cables in PVC raceway where indicated.
  - Minimum raceway size for exterior U/G buried application is 50mm as per Loyalist Township. Minimum burial depth is 900mm below finished grade.
  - All conduit and wiring is to be concealed in all finished areas.
- SERVICE AND DISTRIBUTION
  - Consult with Hydro One regarding electrical services for the proposed street lighting. Include all costs levied by the supply authority to provide electrical services, in the contract price.
  - Hydro One will provide primary transformation to a 120/240 VAC, 1 phase, 3 wire service, pad mount transformer.
  - Provide and install the secondary conductors from the transformer secondary connections to the main service circuit breaker for each location indicated.
  - Provide and install complete secondary distribution system as detailed on the drawings.
  - Acceptable manufacturers for distribution equipment include: Eaton-Cuttler Hammer, Schneider Canada, and Siemens.
  - Provide circuit breaker panels of the type, with ampere capacity, number of poles, branch breaker capacity, etc., as indicated. Mounting to be as indicated.
  - All branch breakers shall be thermal-magnetic trip indicated, ambient temperature compensated and bolted to the bus bar.
- LIGHTING
  - Provide fixtures and poles complete with all accessories mounting hardware, and lamps as specified in the fixture schedule to Loyalist Township or as approved by owners as an equal fixture.
  - Products of equal quality by alternate manufacturers such as Lithonia, Cooper, Lightolier, Hubbell, etc. are also acceptable.
  - Exterior lighting to be controlled:
  - By Photocell. Photocell to Middlesex Centre standards.

**REVISIONS**

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00	ISSUED FOR MUNICIPAL APPROVAL	22.05.20
01	REVISED PER MUNICIPAL COMMENTS	22.09.16

**NORTH**



DESIGN	BC	DRAWN	BC
CHECKED	ZA	REVIEWED	ZA

**PROJECT**

TIMBERWALK SUBDIVISION  
PHASE 5

**ADDRESS**

TIMBERWALK SUBDIVISION.  
ILDERTON, ON.

**PROJECT NO.**

CE-5378

**DRAWING TITLE**

ELECTRICAL SCHEDULES,  
LEGENDS, DETAILS, & SPECS

**DRAWING NUMBER**

E1 OF 5

LIGHTING FIXTURE SCHEDULE				
SYMBOL	DESCRIPTION	VOLTAGE	LAMPS	MOUNTING
AA 	RESIDENTIAL, MODERN, FULL CUTOFF, LED POST TOP FIXTURE. POLYMER REFRACTOR LENS. PHOTOELECTRIC BUTTON CELL, 15' DIRECT BURIED CONCRETE POLE.  SIGNIFY LUMEC: MPTR-35W32LED4K-G3-LE3	120V	36.0W LED, 4000K, 4161 LUMENS TYPE 3	PENDANT MOUNTED ON 15' POLE
AB 	RESIDENTIAL, MODERN, FULL CUTOFF, LED POST TOP FIXTURE. POLYMER REFRACTOR LENS. PHOTOELECTRIC BUTTON CELL, 15' DIRECT BURIED CONCRETE POLE.  SIGNIFY LUMEC: MPTR-35W32LED4K-G3-LE4	120V	36.0W LED, 4000K, 4161 LUMENS TYPE 4	PENDANT MOUNTED ON 15' POLE

**RP-8 TABLE 7: ILLUMINATION METHOD FOR SIDEWALK LIGHTING**

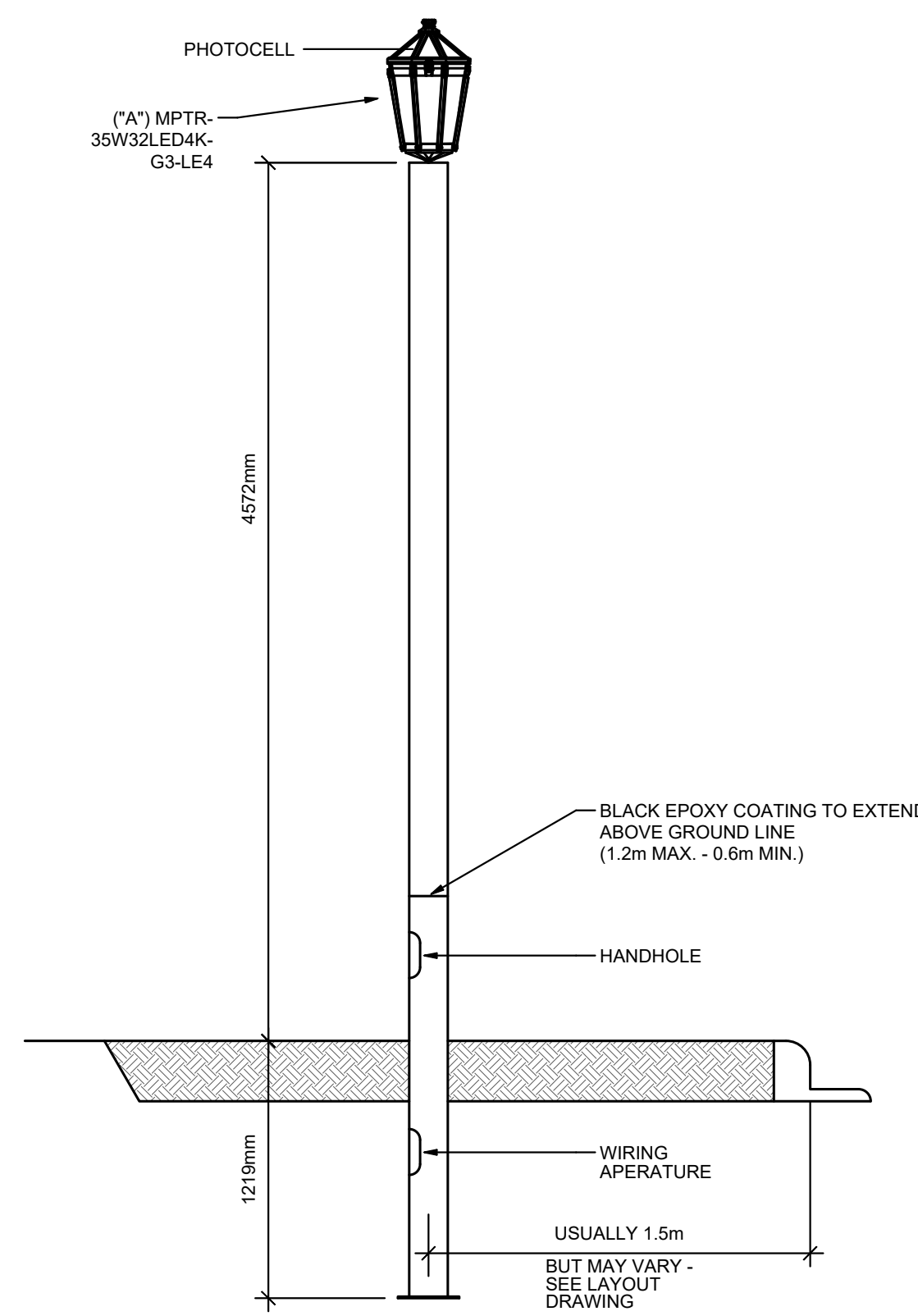
	E <sub>h</sub> (fc)	E <sub>min</sub> (fc)	E <sub>avg</sub> / E <sub>min</sub>
ILLUMINATION FOR SIDEWALK WITH LOW PEDESTRIAN CONFLICT (PER RP-8 REQUIREMENTS TABLE 7)	0.3	0.08	6.0
ARROWWOOD SIDEWALK	0.5	0.0	N/A
TIMBERWALK PATH SIDEWALK	0.6	0.1	6.0
TIMBERWALK TRAIL SIDEWALK	0.6	0.1	6.0

**RP-8-14 TABLE 2: ILLUMINATION METHOD FOR ROAD LIGHTING**

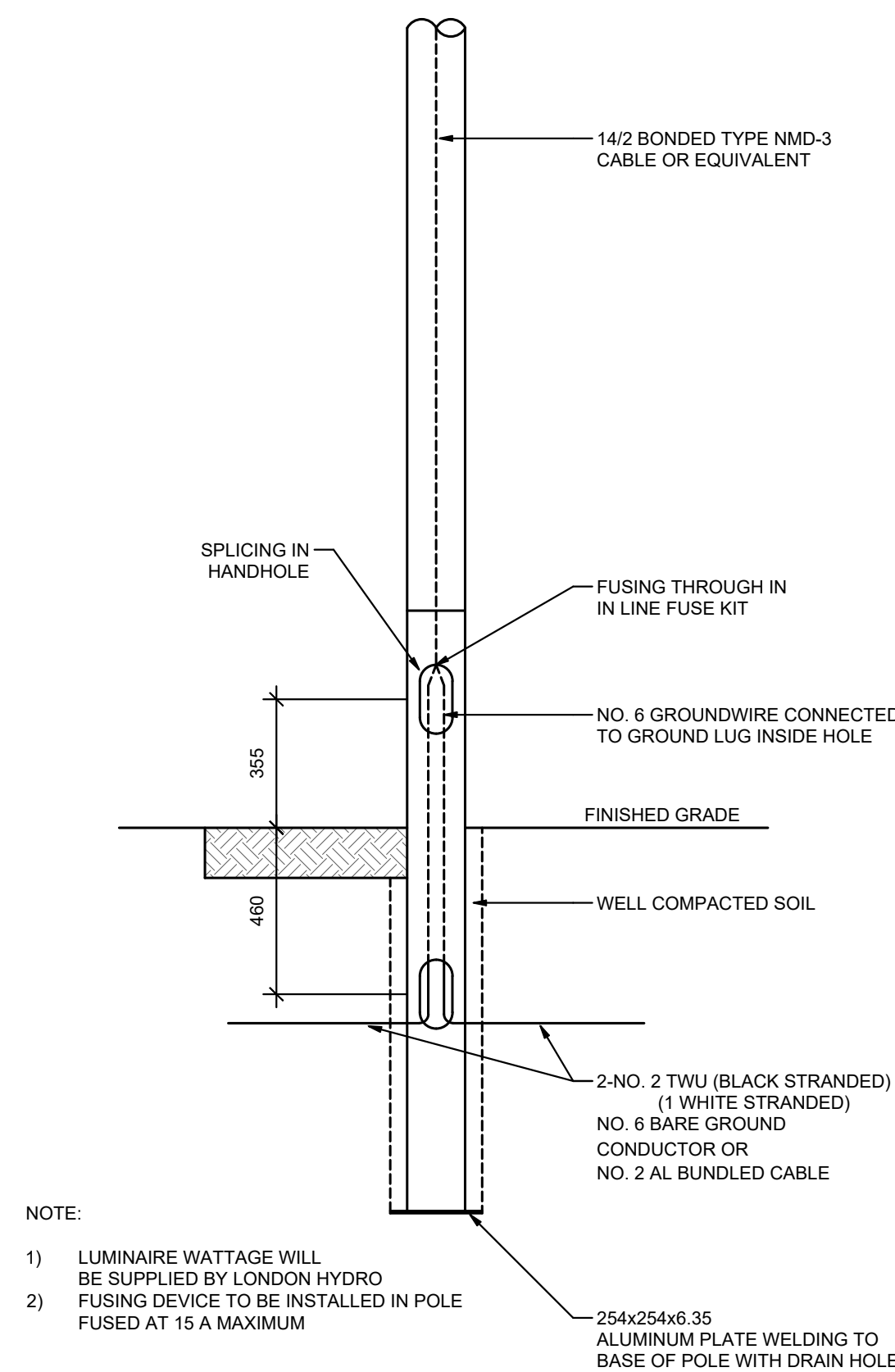
	E <sub>avg</sub> (FC)	E <sub>max</sub> (FC)	E <sub>min</sub> (FC)	E <sub>avg</sub> /E <sub>min</sub>	L <sub>max</sub> /L <sub>avg</sub>
LOCAL ROAD WITH LOW PEDESTRIAN CONFLICT (PER RP-8 TABLE 2)	0.4	N/A	N/A	6.0	0.4
ARROWWOOD PATH	0.6	2.5	0.0	N/A	0.4
TIMBERWALK PATH	0.9	2.2	0.3	3.0	0.4
TIMBERWALK TRAIL	0.7	2.2	0.2	3.5	0.4

**RP-8-14 TABLE 3: LUMINANCE METHOD FOR ROAD LIGHTING**

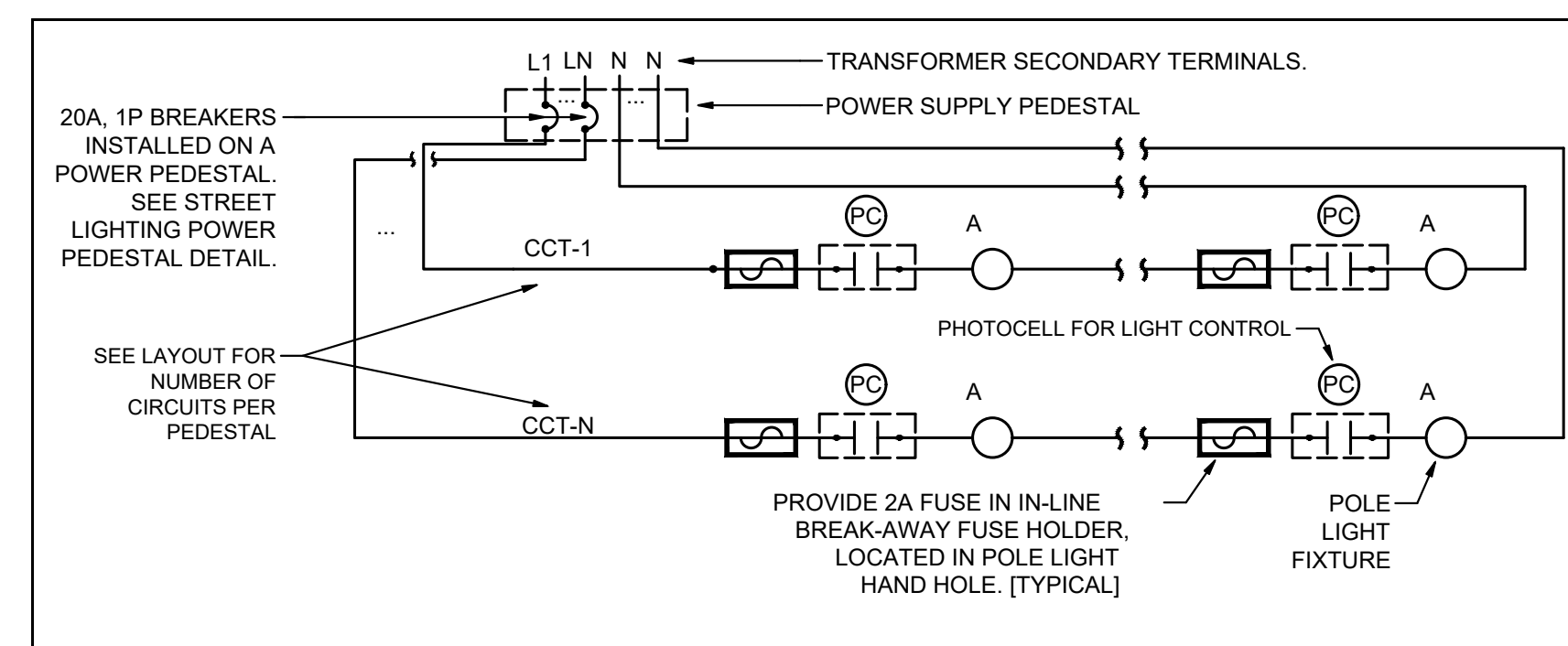
	L <sub>avg</sub> (FC)	L <sub>max</sub> (FC)	L <sub>min</sub> (FC)	L <sub>avg</sub> /L <sub>min</sub>	L <sub>max</sub> /L <sub>avg</sub>	L <sub>max</sub> /L <sub>min</sub>
LOCAL ROAD WITH LOW PEDESTRIAN CONFLICT (PER RP-8 TABLE 2)	0.3	N/A	N/A	6.0	10.0	0.4
ARROWWOOD PATH	0.6	2.5	0.0	N/A	N/A	N/A
TIMBERWALK PATH	0.9	2.2	0.3	3.0	2.4	0.4
TIMBERWALK TRAIL	0.7	2.2	0.2	3.5	3.1	0.4



**LIGHT POLE ARM MOUNT DETAIL**  
SCALE: NTS



**STREET LIGHTING POLE WIRING DETAIL**  
SCALE: NTS

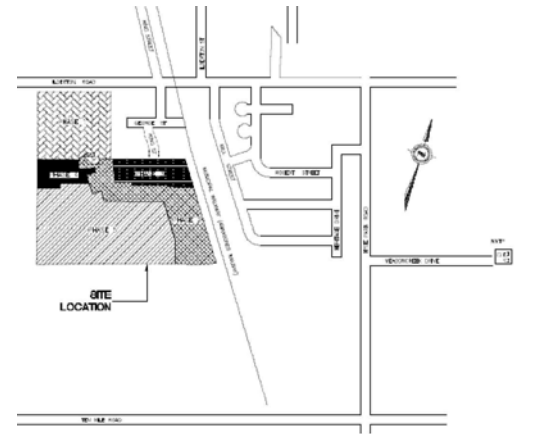


**POLE LIGHTING CONNECTION DETAIL**  
SCALE: NTS



ACCEPTED  
October 28, 2022

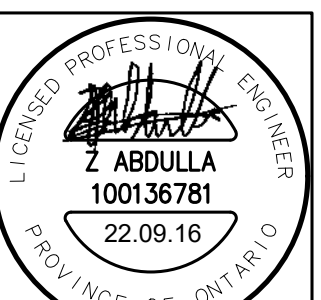
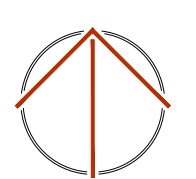
**KEYPLAN**



**REVISIONS**

NO.	ISSUED FOR	DATE
00	ISSUED FOR MUNICIPAL APPROVAL	22.05.30
01	REVISED PER MUNICIPAL COMMENTS	22.09.16

**NORTH**



DESIGN	BC	DRAWN	BC
CHECKED	ZA	REVIEWED	ZA

**PROJECT**

TIMBERWALK SUBDIVISION  
PHASE 5

**ADDRESS**

TIMBERWALK SUBDIVISION.  
ILDERTON, ON.

**PROJECT NO.**

CE-5378

**DRAWING TITLE**

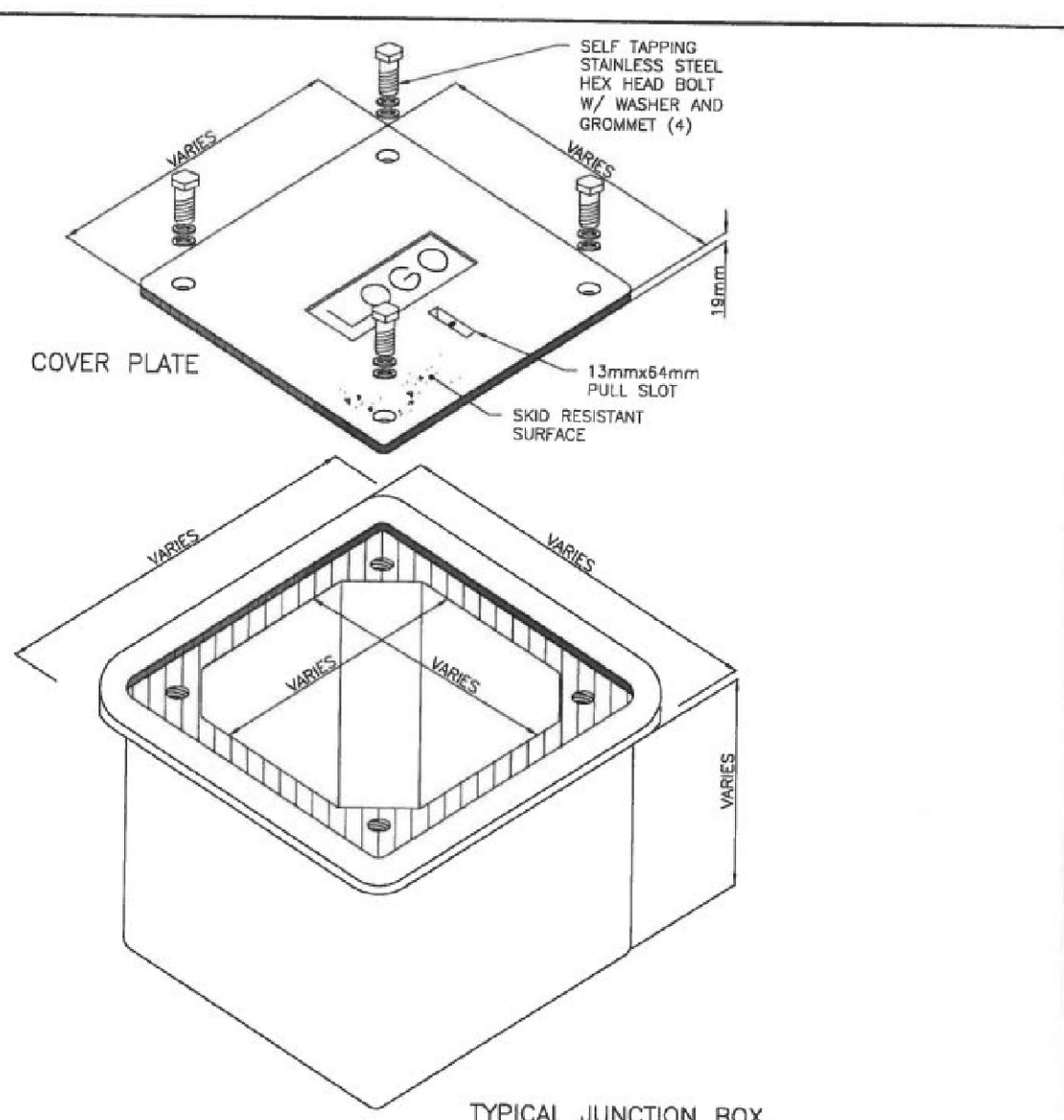
ARROWWOOD PATH STREET  
LIGHTING LAYOUT

**DRAWING NUMBER**

E2 OF 5

**DRAWING NOTES (INDICATED WITH HEXAGONS):**

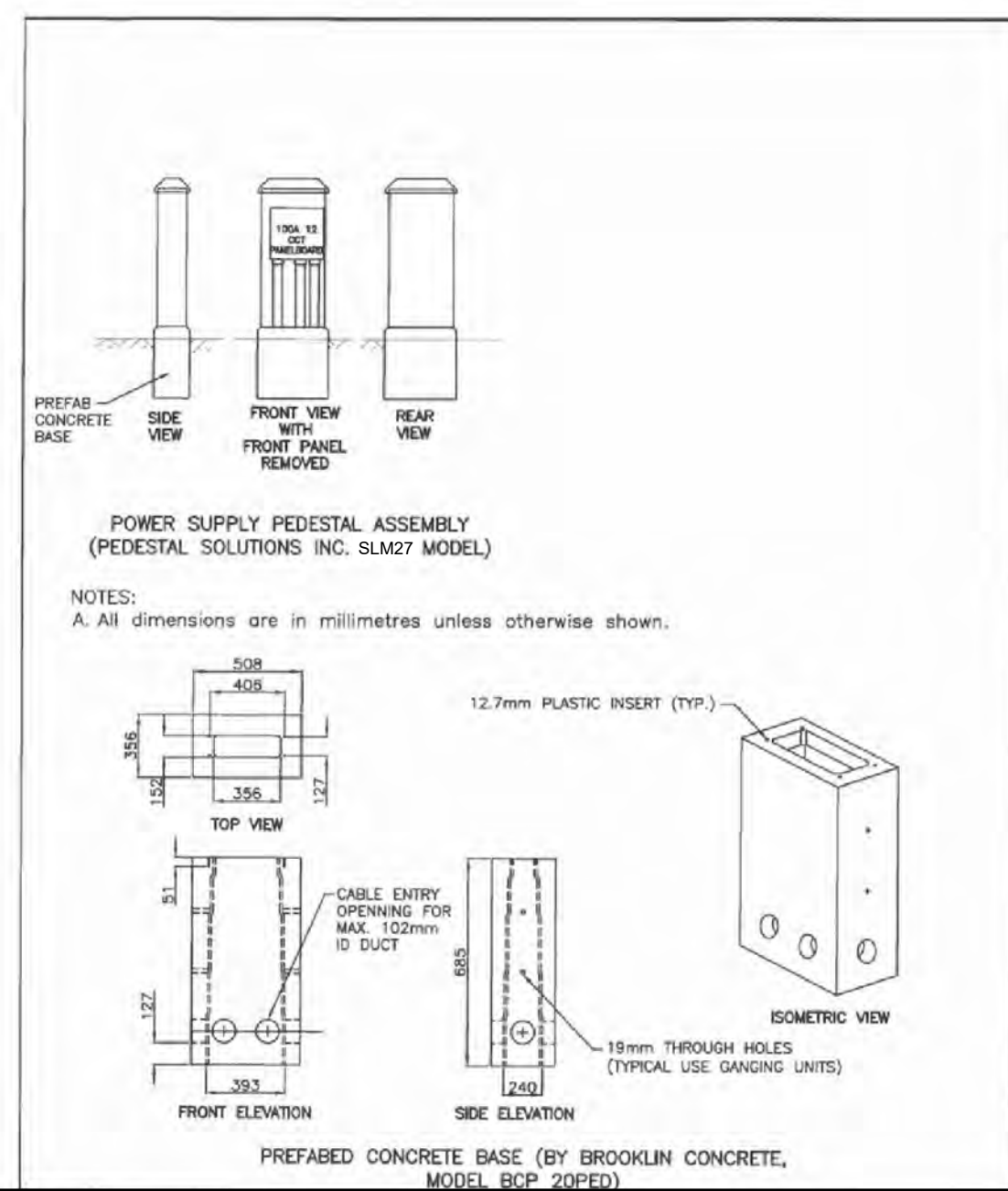
1. LOCATION OF PAD MOUNTED TRANSFORMER PROVIDED BY HYDRO. COORDINATE WITH UTILITY FOR EXACT LOCATIONS. TYPICAL FOR ALL.
2. PROVIDE UNDERGROUND PULL BOX/JUNCTION BOX AT ROAD CROSSINGS. COORDINATE EXACT LOCATION OF BOX WITH HYDRO PRIOR TO INSTALLATION. TYPICAL FOR ALL.
3. APPROXIMATE LOCATION OF POWER PEDESTAL. ALL PEDESTALS TO BE INSTALLED WITH THE ACCESS DOOR FACING OPPOSITE OF THE MAIN STREET SO THE CONTRACTORS CAN OPEN THE DOOR WHILE FACING THE STREET FOR ONCOMING TRAFFIC. COORDINATE EXACT LOCATION ON SITE AND WITH ENERGY+ PRIOR TO INSTALLATION. TYPICAL FOR ALL. POWER PEDESTAL TO BE EQUAL TO PEDESTAL SOLUTIONS INC. CAT# SLM42. SERVICE ENTRANCE RATED C/W.
- 3.1. 1-2P/60A MAIN BREAKER SERVICE ENTRANCE RATED
- 3.2. 3-1P/20A BRANCH CIRCUIT BREAKERS
- 3.3. 100A METER BASE TO FESTIVAL HYDRO REQUIREMENTS
4. ENSURE MINIMUM CLEARANCES FROM TRANSFORMER ARE MAINTAINED AS PER HYDRO REQUIREMENTS: 1.1m MINIMUM CLEARANCE FROM CONCRETE PAD ON ALL SIDES, 2.5m MINIMUM CLEARANCE FROM CONCRETE PAD ON ALL SIDES WITH AN ACCESS DOOR
5. ALL STREET LIGHT POLES TO BE INSTALLED SO THAT THE ACCESS COVER OF THE POLE IS POSITIONED SO THAT THE CONTRACTOR CAN REMOVE THE COVER AND VIEW THE ONCOMING NEAR SIDE TRAFFIC. ENSURE MINIMUM CLEARANCES FROM TRANSFORMERS ARE MAINTAINED TO HYDRO REQUIREMENTS AS DESCRIBED ABOVE. TYPICAL FOR ALL.
6. PROVIDE 2-#6 AL+GND IN 50mm DBII CONCRETE ENCASED. SEE ROAD CROSSING DETAIL.
7. PROVIDE 4-#6 AL+GND IN 50mm DBII CONCRETE ENCASED. SEE ROAD CROSSING DETAIL.
8. LOCATE PULLBOX OUTSIDE GROUND GRID AS REQUIRED. COORDINATE EXACT LOCATION ON SITE AND WITH ENERGY+ PRIOR TO INSTALLATION. TYPICAL FOR ALL.



NOTES:  
A. BOXES SHALL BE STACKABLE CONCRETE COMPOSITE TYPE ONLY.  
B. BOXES AND COVER SHALL MEET ANSI/SCTE 77-2007 TIER 15 LOAD RATING.

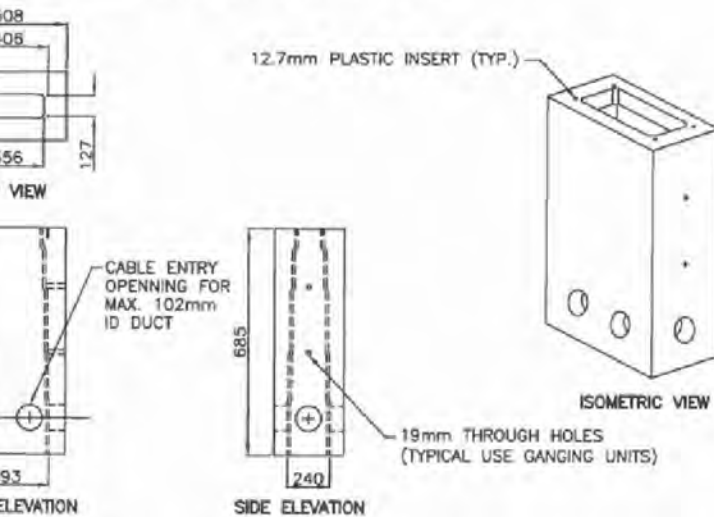
**STREET LIGHTING JUNCTION BOX DETAIL**

SCALE: NTS



POWER SUPPLY PEDESTAL ASSEMBLY  
(PEDESTAL SOLUTIONS INC. SLM27 MODEL)

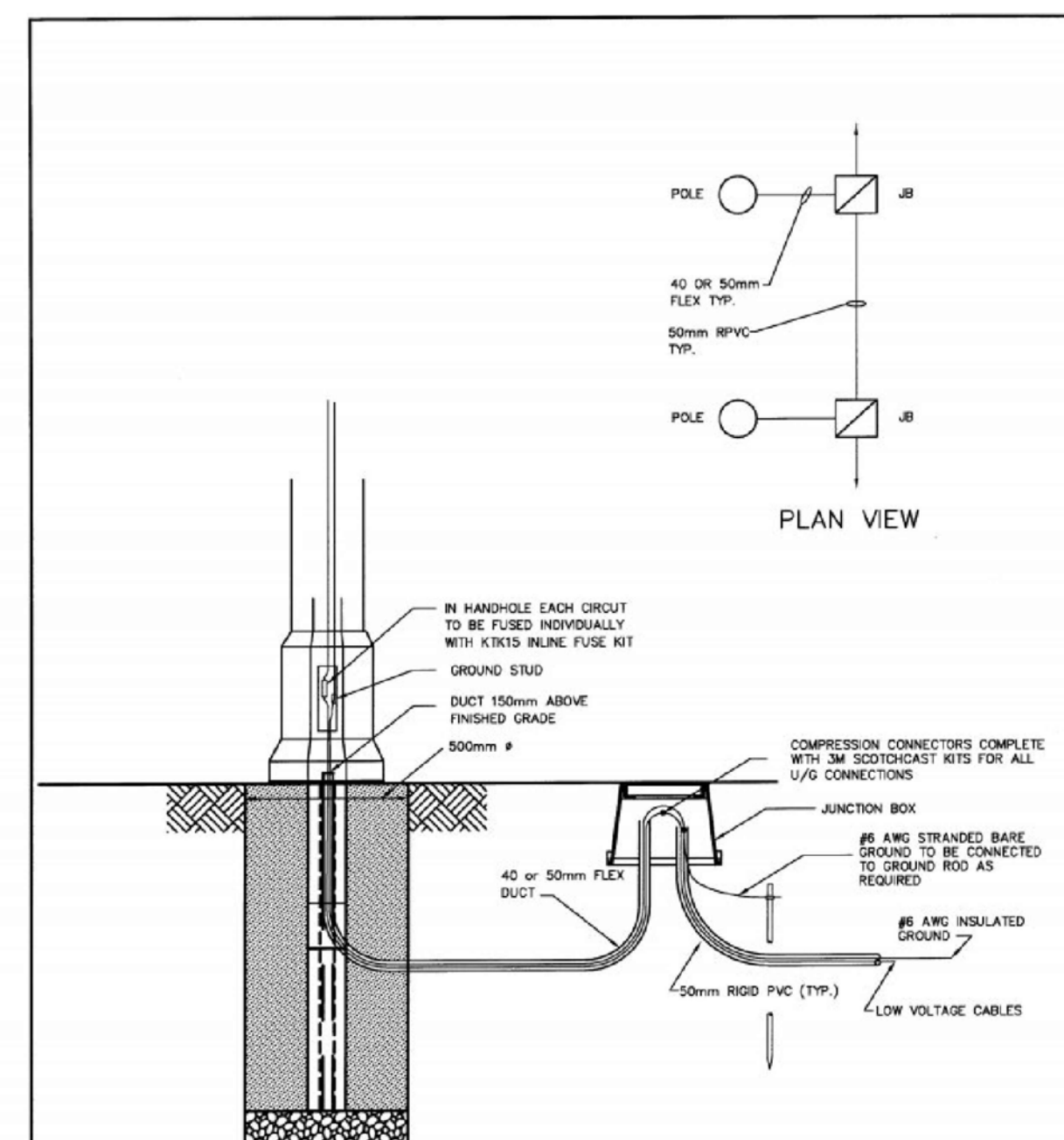
NOTES:  
A. All dimensions are in millimetres unless otherwise shown.



PREFABED CONCRETE BASE (BY BROOKLIN CONCRETE, MODEL BCP-200FD)

**LIGHTING PEDESTAL DETAIL**

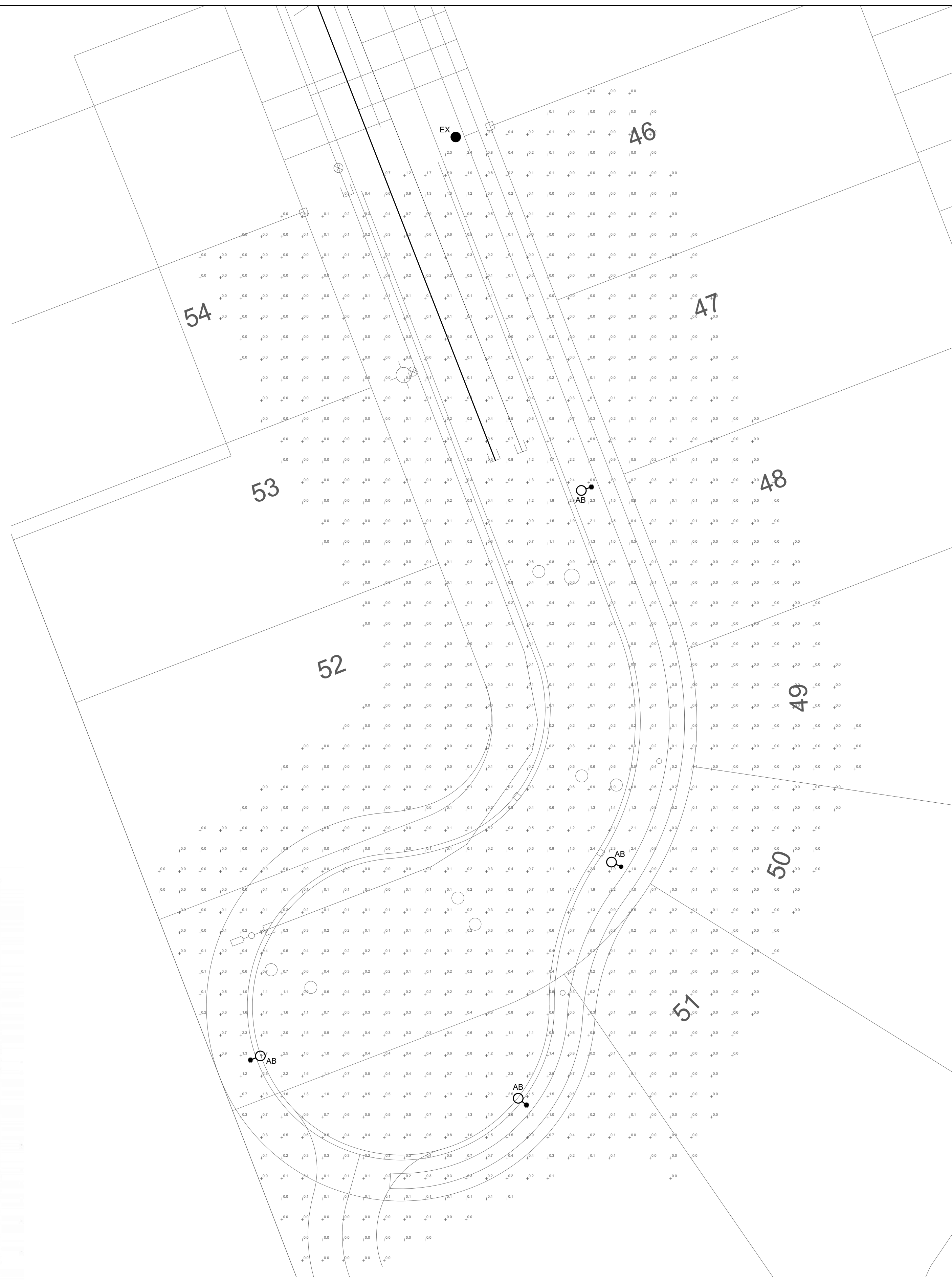
SCALE: NTS



NOTES:  
1) REFER TO S15-10.09 FOR TYPICAL WIRING  
2) ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE SHOWN

**DIRECT BURIED CONNECTION DETAIL**

SCALE: NTS

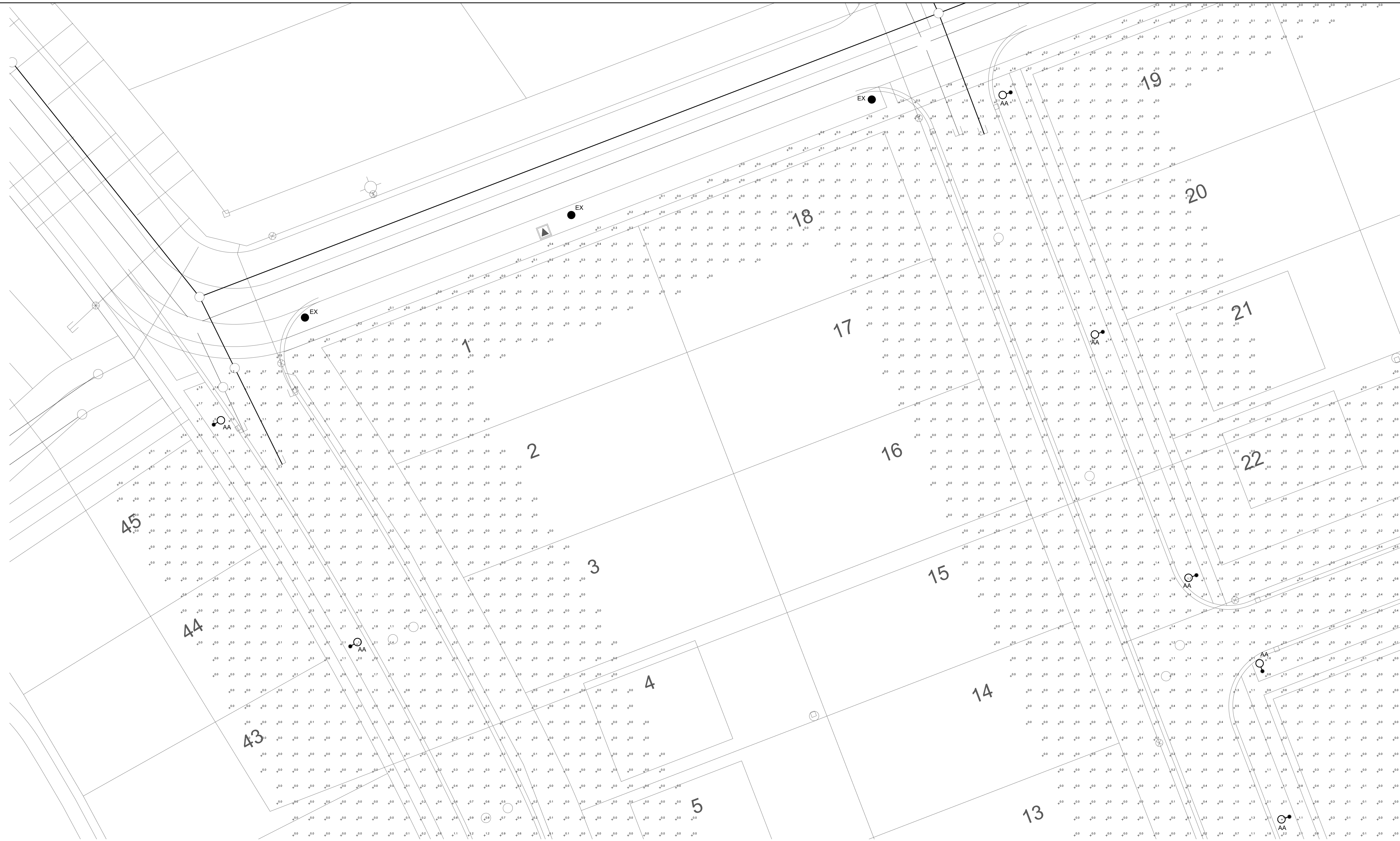


**ARROWWOOD PATH STREET LIGHTING LAYOUT**

SCALE: 1:250



ACCEPTED  
October 28, 2022



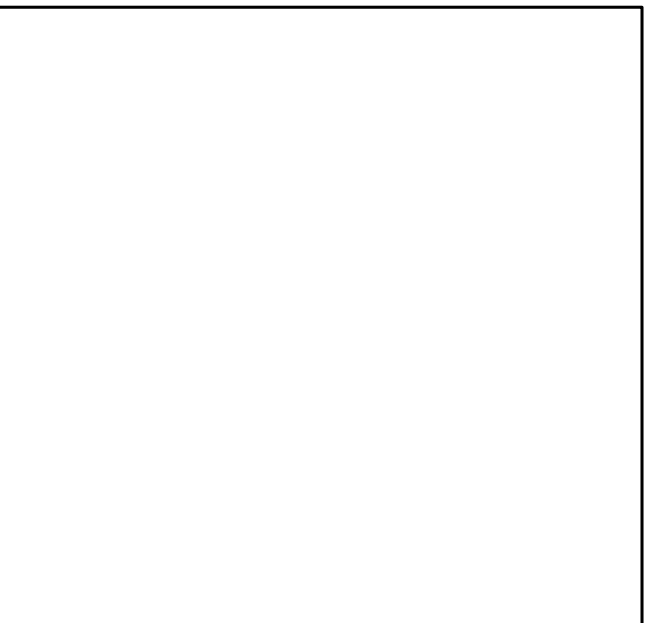
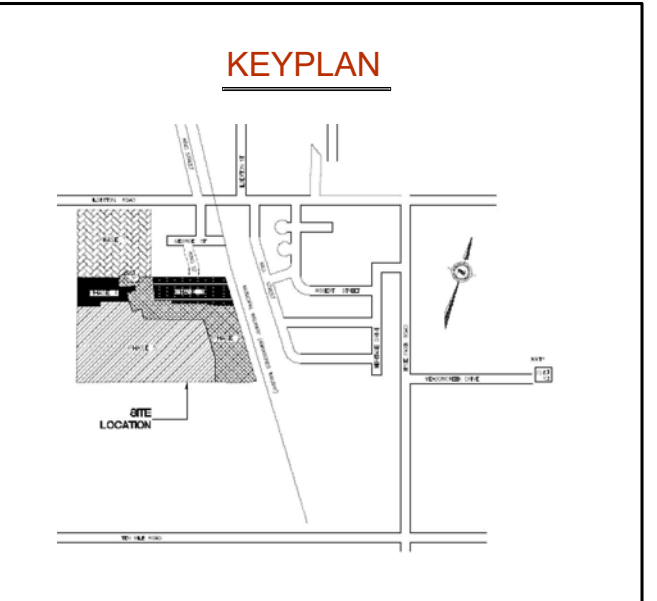
**TIMBERWALK TRAIL STREET LIGHTING LAYOUT**  
SCALE: 1:250

**Callidus Engineering**  
We Make Buildings Work

1385 North Rutledge Park, Unit 9  
London, ON N6H 5N5  
P 519.472.7640

1471 John Counter Blvd, Unit 301  
Kingston, ON K7M 8S8  
P 613.900.0845

W www.callidus.ca E info@callidus.ca



**REVISIONS**

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**NORTH**

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**PROJECT**  
TIMBERWALK SUBDIVISION  
PHASE 5

**ADDRESS**  
TIMBERWALK SUBDIVISION.  
ILDERTON, ON.

**PROJECT NO.**  
CE-5378

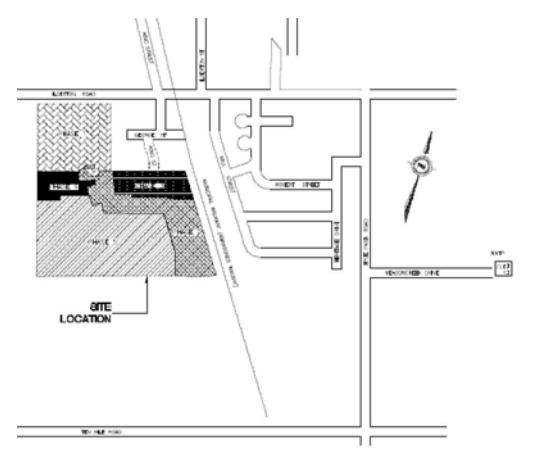
**DRAWING TITLE**  
TIMBERWALK TRAIL STREET  
LIGHTING LAYOUT

**DRAWING NUMBER**  
E3 OF 5

**middlesex centre**  
in the centre of it all.

ACCEPTED  
October 28, 2022

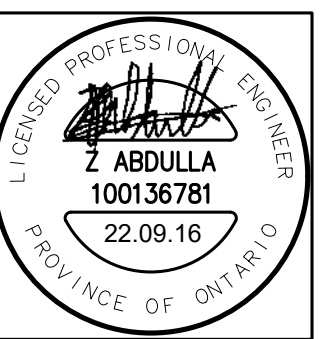
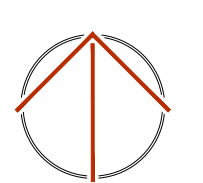
**KEYPLAN**



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**PROJECT NO.**

CE-5378

**DRAWING TITLE**

TIMBERWALK TRAIL STREET  
LIGHTING LAYOUT CONTINUED

**DRAWING NUMBER**

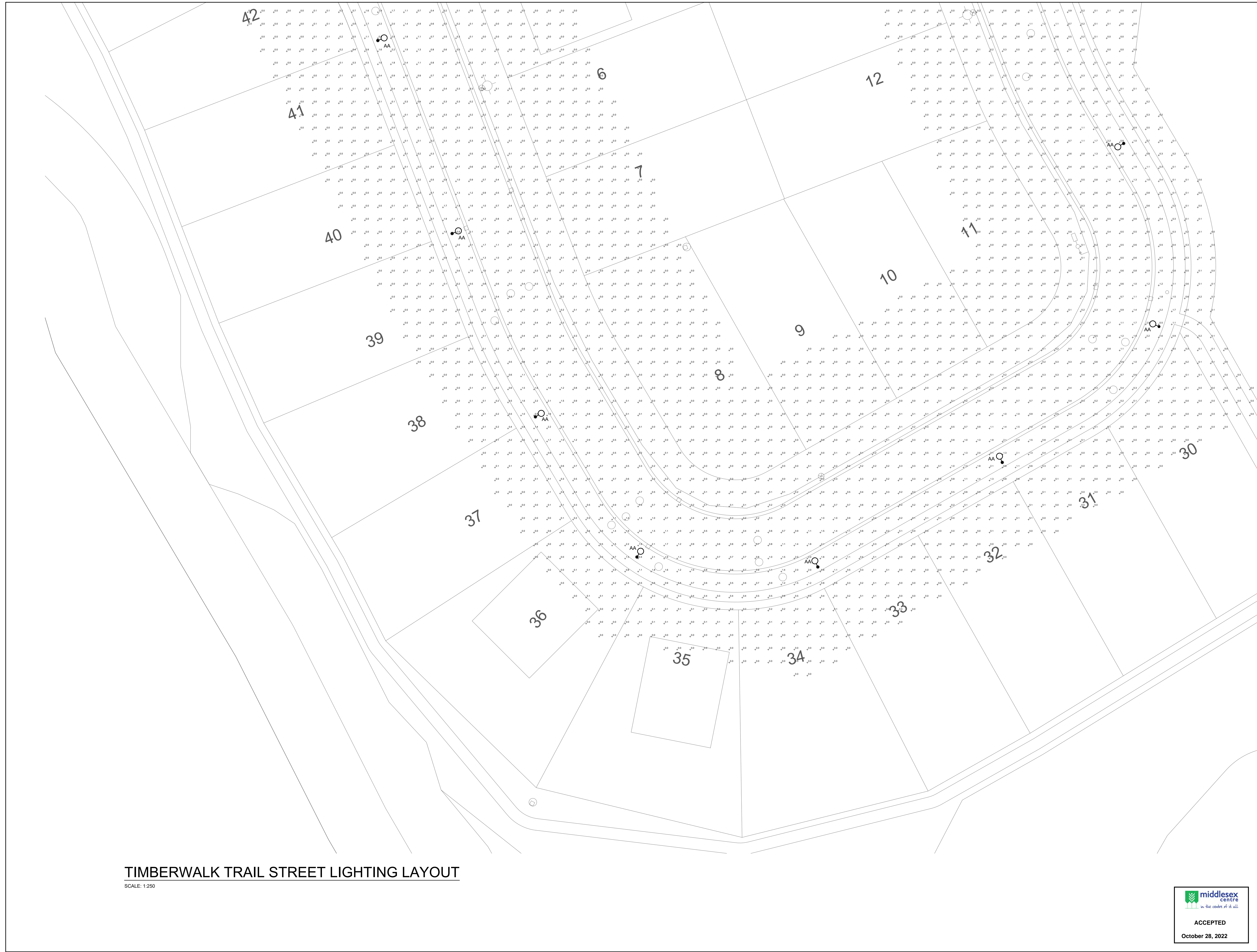
E4 OF 5

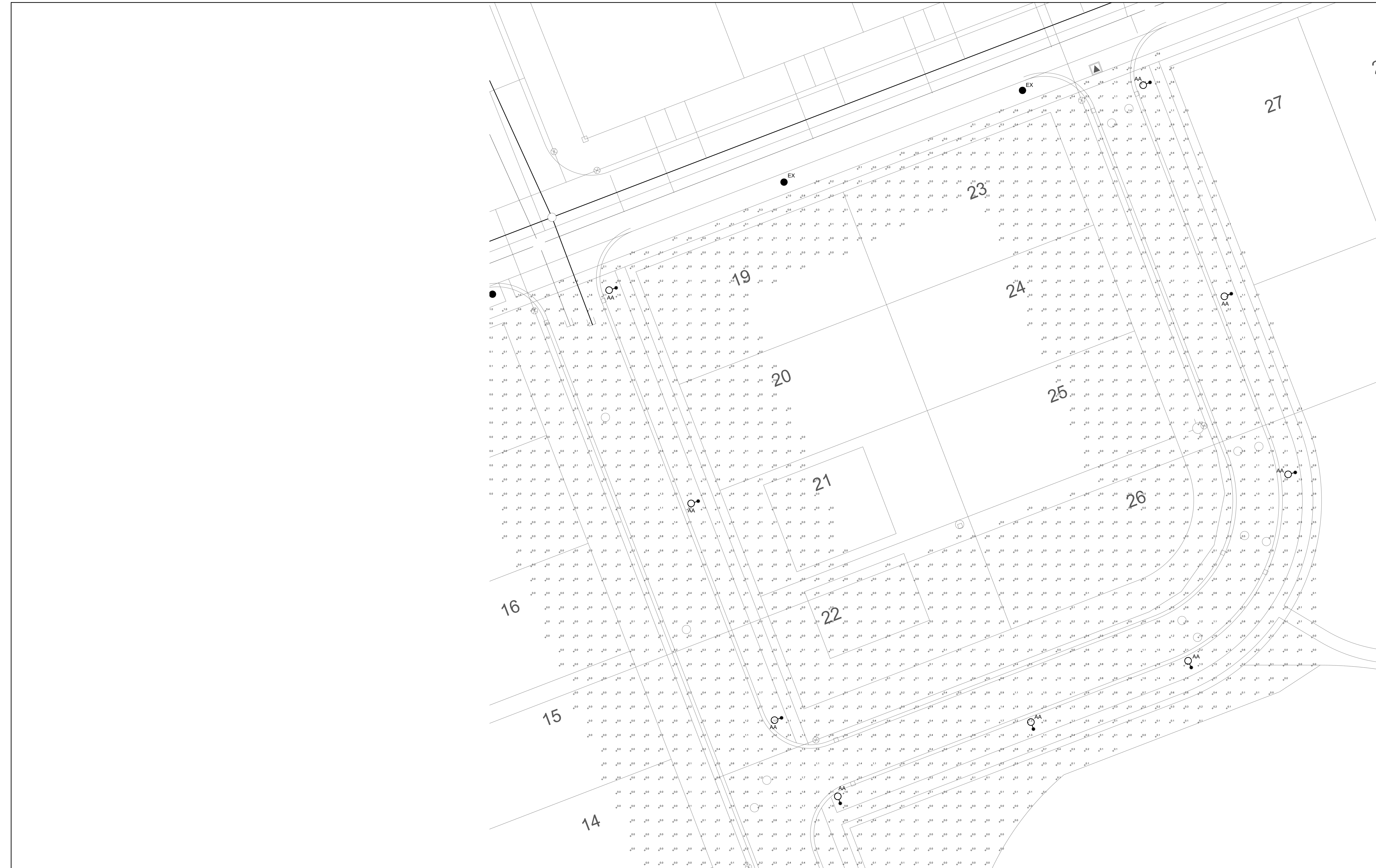
**TIMBERWALK TRAIL STREET LIGHTING LAYOUT**

SCALE: 1:250



ACCEPTED  
October 28, 2022





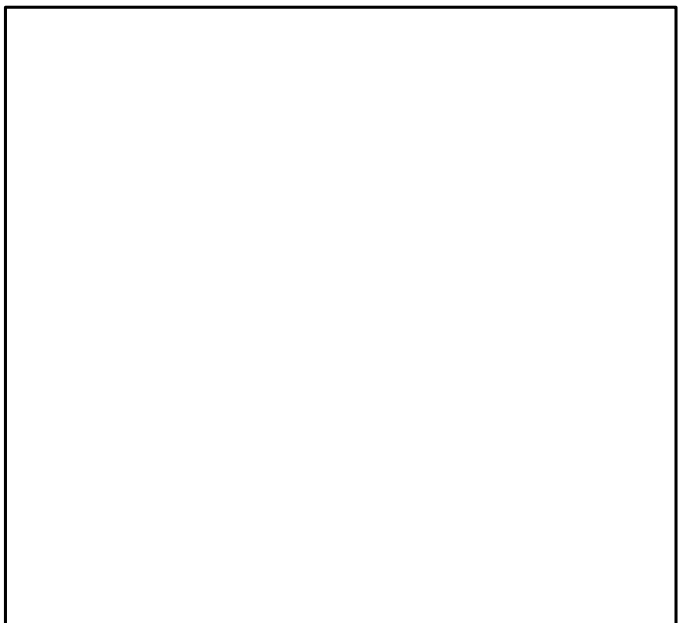
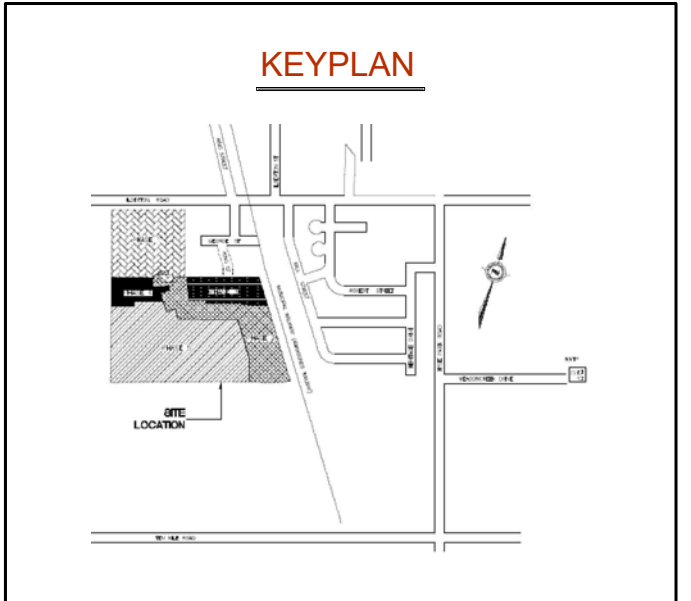
**TIMBERWALK PATH STREET LIGHTING LAYOUT**  
SCALE: 1:250

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**PROJECT**  
TIMBERWALK SUBDIVISION  
PHASE 5

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CE-5378

**DRAWING TITLE**  
TIMBERWALK PATH STREET  
LIGHTING LAYOUT

**DRAWING NUMBER**  
E5 OF 5

**middlessex centre**  
in the centre of it all

ACCEPTED  
October 28, 2022

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "H"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**UNDERTAKING AND AGREEMENT BY SUBDIVIDER'S ENGINEERS**

TO: Municipality of Middlesex Centre

FROM: Development Engineering (London) Limited,  
41 Adelaide Street North, Unit 71,  
London, Ontario, N6B 3P4

T: (519) 672-8310

Fax: (519) 672-4182

Consulting Engineers to Sifton Properties Limited

Re: Subdivision Agreement (the "**Phase V Subdivision Agreement**") between Sifton Properties Limited and Municipality of Middlesex Centre dated the \_\_\_\_ day of \_\_\_\_\_, 2023 pertaining to the Phase V Land being registered plan 33M - XXXX

The undersigned hereby represents and warrants that the undersigned is a member in good standing of the Professional Engineers Ontario and that the undersigned has been retained by Sifton Properties Limited in connection with the Phase V Subdivision Agreement and all works

Timberwalk Phase V  
Subdivision Agreement

required thereby. As required by the Phase V Subdivision Agreement the undersigned hereby undertakes to the Municipality and to its above mentioned consulting engineers as follows:

- To design the Phase V Works as described in the Phase V Subdivision Agreement and the Schedules thereto,
- To prepare tenders for the construction of any works to be assumed by the Municipality,
- To assist Sifton Properties. to obtain all necessary approvals for the works in cooperation with the Municipality of Middlesex Centre,
- To act as the representative of Sifton Properties in all matters pertaining to the inspection and contract administration of the installation of the works except as directed by Sifton Properties by notice to the Municipality,
- To provide full-time on-site inspection of the construction of all Phase V Works,
- To keep the Municipality informed of the general timing of the construction of the works except as otherwise directed by Sifton Properties,
- To prepare and maintain detailed records in connection with the construction of the works,
- Upon becoming aware of any hazardous materials being encountered as the construction and installation of the Phase V Works progresses to forthwith notify the Municipality and the MECP and Conservation Authority in the event that any hazardous materials are encountered, and
- To prepare and furnish "Record" drawings of the works as required by the Phase V Subdivision Agreement.

The undersigned agrees that the undersigned will immediately advise Municipality of Middlesex Centre and its above mentioned consulting engineers should there be any alteration in the undersigned's above described retainer and instructions from Sifton Properties Limited.

In connection with the Servicing Plans attached to the Phase V Subdivision Agreement, Development Engineering (London) Limited hereby acknowledges and agrees that:

- That the Servicing Plans have been and may continue to be reviewed and used by the Municipality of Middlesex Centre, The Corporation of the County of Middlesex, the Conservation Authority, Her Majesty the Queen in right of the Province of Ontario as represented by the Ministry of the Environment, Conservation and Parks and Climate Change and the Joint Board of Management for the Lake Huron Primary Water Supply System in the normal course of their

Timberwalk Phase V  
Subdivision Agreement

duties in connection with the approvals and permitting processes for the Phase V Subdivision Agreement; and

- That the Servicing Plans may be relied upon by any person who deals with the Phase V Land after the Phase V Subdivision Agreement has been registered on the title to the Phase V Land and who obtains access to the Servicing Plans from the Land Office or from the offices of the Municipality.

Executed the \_\_\_\_ day of \_\_\_\_\_, 202\_\_

DEVELOPMENT ENGINEERING (LONDON) LIMITED

Per:

Name: Ryan Hern, P. Eng.

Title: Principal

I have the authority to bind the corporation



Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "I"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under  
the laws of the Province of Ontario having its registered office in  
the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**HOMEOWNERS' PACKAGE**

*See following pages.*

## Welcome to your New Home!

This manual has been prepared as a guide to help new homeowners like you protect and appreciate the natural areas near your home and the sensitive species in your backyard. This subdivision is next to several significant natural features including woodlands, wetlands and wildlife habitats. Your community has been designed to preserve these nearby natural features and the important habitat they provide for wildlife.



Monarch butterflies on goldenrod

Living next to these areas offers many exciting opportunities for residents to explore and learn about these unique natural areas and species. With this opportunity comes the responsibility to manage daily activities and chores so that these areas continue to flourish and remain intact for future generations.

## For More Information Please Contact

County of Middlesex  
399 Ridout Street North  
London, ON N6A 2P1  
519-434-7321

or

St. Clair Region  
Conservation Authority  
205 Mill Pond Crescent  
Strathroy, ON N7G 3P9  
stclair@scrca.on.ca  
519-245-3710



White-tailed Deer fawns









Environmental Stewardship Manual  
Prepared by:

 **NATURAL RESOURCE SOLUTIONS INC.**  
A joint: Terrestrial and Wetland Ecologists

## Living Next to Nature

Environmental  
Stewardship Manual

Timberwalk Subdivision

Woodlands	How You Can Help	Wetlands
<p>Treed areas and woodlands in Middlesex County provide a variety of important services such as improving air quality, providing shade, reducing local energy use and providing habitat for a variety of wildlife species. The forests near your home are considered significant woodlands. Environmental protection measures, including buffers and vegetation plantings, have been employed to protect and enhance these features. A "third pipe" has been constructed to take clean water from some of the roofs and yards and direct it to the adjacent woodland in order to maintain the water levels how they were before construction. Plants and wildlife you may see in the woodland are shown below.</p>	<p>Much of the water from your property will run off into the adjacent woodland and wetlands, or is even directed there specifically. What you do on your property has a direct impact on these areas! Please consider:</p> <ul style="list-style-type: none"> <li>✓ Limit the use of de-icing salt and chemicals.</li> <li>✓ Limit excessive irrigation and fertilizer use.</li> <li>✓ Allow sump-pump to drain into your yard.</li> <li>✓ Keep domestic cats indoors or on a leash when outdoors.</li> <li>✓ Pick up pet waste.</li> <li>✓ Keep a respectful distance from wildlife.</li> <li>✓ Leave all bird nests alone; parents will often leave, but will return.</li> <li>✓ Limit birds from hitting your home's windows by installing window decals, sun catchers or other objects on the window.</li> <li>✓ Plant <i>native</i> trees, shrubs and wildflowers in your garden to create more habitat for wildlife.</li> <li>✓ Discharge pool water away from the woodlands and wetlands.</li> <li>✓ Use a car wash instead of washing vehicles in your driveway.</li> <li>✓ Leave leaves in your garden as wildlife habitat and to provide nutrients.</li> <li>✓ Pick up garbage.</li> <li>✓ Keep your vehicle in good working order so it does not leak chemicals.</li> <li>✗ Don't dump yard waste in natural areas, as this can suffocate native species and introduce non-native and potentially destructive plants into the protected area.</li> <li>✗ Don't create your own trails in natural areas.</li> <li>✗ Don't plant anything in nearby natural areas unless participating in events organized by the County or St. Clair Region Conservation Authority.</li> <li>✗ Don't disturb or handle wildlife.</li> <li>✗ Do not dig out plants from the natural areas.</li> </ul>	<p>Wetlands have a number of important roles in the environment, including water purification and flood control. They also contribute to groundwater discharge and recharge, water quality improvements and storage, and improve overall biodiversity. The wetlands adjacent to this subdivision include Maple Swamp and Willow Thicket Swamp habitats. Lands adjacent to the wetlands and woodland have been set aside as buffers to protect the natural features. Please respect the buffers and keep them natural. Many plants, birds, mammals, reptiles and amphibians call these wetlands home, including several species that are considered rare in Ontario. Some of these species are shown below.</p>
		
<p>Baltimore Oriole</p>	<p>Mayapple</p>	
<p>Swamp Milkweed</p>		
<p>Blue Cohosh</p>	<p>Cedar Waxwing</p>	
<p>White Turtlehead</p>		<p>Spring Peeper</p>

**SCHEDULE "J"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**IRREVOCABLE COMMERCIAL LETTER OF CREDIT**

Letter of Credit No.

To: Municipality of Middlesex Centre

Pursuant to the request of our customer, Sifton Properties Limited, the \_\_\_\_\_ Bank, at \_\_\_\_\_ Street in London hereby establishes in your favour an irrevocable letter of credit for any sum or sums not exceeding total of \_\_\_\_\_ which may be drawn on at sight by you in whole or in part at any time and from time to time by written demand for payment at the branch named above which demand we shall honour without inquiring whether you have a right as between yourself and our customer to make such demand and without recognizing any claim of our said customer.

PROVIDED, that you are to deliver to the Bank at such time as a written demand for payment is made a certificate signed by your Clerk,

- (a) that the monies demanded pursuant to this Letter of Credit are to be expended, or,
- (b) that the monies demanded pursuant to the Letter of Credit have been expended

in respect to the whole or some of our customer's obligations under the Phase V Subdivision Agreement between our customer and you dated the \_\_\_\_ day of August 2023 and registered as instrument no. \_\_\_\_\_, as amended from time to time.

Timberwalk Phase V  
Subdivision Agreement

The amount of this Letter of Credit will be reduced from time to time as you may on notice in writing signed by the Clerk advise.

This Letter of Credit will continue up to and including the 30<sup>th</sup> day of \_\_\_\_\_, 202\_ subject to the condition hereinafter set forth.

It is a condition of this Letter of Credit that it shall be deemed to be automatically extended without amendment from year to year from the present or any future expiration date, unless at least sixty (60) days prior to the present or future expiration date, we deliver notice to you in writing that we elect not to consider this Letter of Credit to be renewable for any additional period.

Except as otherwise expressly stated, this credit is subject to the Uniform Customs and Practice for Documentary Credits (2007) Revision) International Chamber of Commerce, Publication No. 600.

DATED at London, Ontario, this \_\_\_\_ day of \_\_\_\_\_, 2023.

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE “K”**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the “**Subdivider**”)

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the “**Municipality**”)

OF THE SECOND PART

**INTERIM CERTIFICATE OF COMPLETION OF WORKS**

For Good and Valuable Consideration now paid by Municipality of Middlesex Centre (hereinafter referred to as the “Municipality”) to the undersigned, the receipt and sufficiency of which is hereby acknowledged, I hereby certify that the following services (hereinafter referred to as the “Completed Services”) have been constructed and installed pursuant to and in accordance with the Subdivision Agreement (hereinafter referred to as the “**Phase V Subdivision Agreement**”) dated the \_\_\_\_ day of August, 2023 and registered as No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_ :

1. the underground services to be constructed and installed as part of the Phase V Works, as defined in the Phase V Subdivision Agreement, have been completed;
2. all utilities to be constructed and installed as required by section 31 of the Phase V Subdivision Agreement have been completed;
3. all street signs and regulatory signage to be constructed and installed as required by the Phase V Subdivision Agreement have been completed;

Timberwalk Phase V  
Subdivision Agreement

- 4. all street lights to be constructed and installed as required by the Phase V Subdivision Agreement have been completed and are fully operational; and
- 5. a full depth granular B road base suitable for emergency vehicle access on all roads to be constructed as part of the Phase V Works, as defined in the Phase V Subdivision Agreement, has been completed;

I certify also that items 1, 3, 4 and 5 above of the Completed Services have been:

- (a) inspected by me, or by a qualified person under my supervision, during construction and installation in accordance with standard engineering practice; and
- (b) in my professional engineering opinion, construction of the Phase 3 Works was carried out in substantial conformance with the plans and specifications approved by the Municipality.

Finally, I certify that the value of the Completed Services is as follows:

The value of the Completed Services referred to in item 1. above is \$ \_\_\_\_\_

The value of the Completed Services referred to in item 2. above is \$ \_\_\_\_\_

The value of the Completed Services referred to in item 3. above is \$ \_\_\_\_\_

The value of the Completed Services referred to in item 4. above is \$ \_\_\_\_\_

The value of the Completed Services referred to in item 5. above is \$ \_\_\_\_\_

for a total value of \$ \_\_\_\_\_

Certified and delivered under my hand and professional seal this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_.

Professional Engineer

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "L"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**CERTIFICATE OF COMPLETION OF WORKS**

For Good and Valuable Consideration now paid by Municipality of Middlesex Centre (hereinafter referred to as the "Municipality") to the undersigned, the receipt and sufficiency of which is hereby acknowledged, I hereby certify that the construction and installation of the Phase V Works was carried out in substantial conformance with the approved plans and specifications for the Phase V Works as required by the Phase 3 Subdivision Agreement dated the \_\_\_\_ day of August, 2023 and registered as No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2012 have been completed; and I hereby certify that all such services have been:

- (a) inspected by me, or by a qualified person under my supervision, during construction and installation in accordance with standard engineering practice; and
- (b) in my professional engineering opinion, construction and installation of the Phase 3 Works was carried out in substantial conformance with the plans and specifications approved by the Municipality.

Certified and delivered under my hand and professional seal this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_.

Professional Engineer



Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE “M”**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the “**Subdivider**”)

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the “**Municipality**”)

OF THE SECOND PART

**ASSET INVENTORY**

ASSET INVENTORY									
Subdivision Name: _____									
Number of Lots: _____									
M Plan Number : _____									
Date: _____									
Summary									
Category	Estimate (\$)	Description	Total Length (m)				Cost / Metre		
Storm	\$ -	Storm Sewers and Services							
Sanitary	\$ -	Sanitary Sewers and Appurtenances							
Water	\$ -	Watermains and Services							
Roads	\$ -	Roadworks (granulars to base asphalt)							
Roads	\$ -	Curbs and Gutter							
S/W	\$ -	Sidewalks / Walkways							
Roads	\$ -	Surface Asphalt							
SWM	\$ -	SWM							
Lighting	\$ -	Street Lighting							
	\$ -		Cost / Metre						
			Cost / Lot						
Breakdown									
		Length (M)							
Category	Total Length	Estimate (\$)	150 dia	200 dia	250 dia	375 dia	450 dia	525 dia	750 dia
Storm		\$ -							
Sanitary		\$ -							
Water		\$ -							
Total		\$ -							

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "H"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**UNDERTAKING AND AGREEMENT BY SUBDIVIDER'S ENGINEERS**

TO: Municipality of Middlesex Centre

FROM: Development Engineering (London) Limited,  
41 Adelaide Street North, Unit 71,  
London, Ontario, N6B 3P4

T: (519) 672-8310

Fax: (519) 672-4182

Consulting Engineers to Sifton Properties Limited

Re: Subdivision Agreement (the "**Phase V Subdivision Agreement**") between Sifton Properties Limited and Municipality of Middlesex Centre dated the \_\_\_\_ day of \_\_\_\_\_, 2023 pertaining to the Phase V Land being registered plan 33M - XXXX

The undersigned hereby represents and warrants that the undersigned is a member in good standing of the Professional Engineers Ontario and that the undersigned has been retained by Sifton Properties Limited in connection with the Phase V Subdivision Agreement and all works

Timberwalk Phase V  
Subdivision Agreement

required thereby. As required by the Phase V Subdivision Agreement the undersigned hereby undertakes to the Municipality and to its above mentioned consulting engineers as follows:

- To design the Phase V Works as described in the Phase V Subdivision Agreement and the Schedules thereto,
- To prepare tenders for the construction of any works to be assumed by the Municipality,
- To assist Sifton Properties. to obtain all necessary approvals for the works in cooperation with the Municipality of Middlesex Centre,
- To act as the representative of Sifton Properties in all matters pertaining to the inspection and contract administration of the installation of the works except as directed by Sifton Properties by notice to the Municipality,
- To provide full-time on-site inspection of the construction of all Phase V Works,
- To keep the Municipality informed of the general timing of the construction of the works except as otherwise directed by Sifton Properties,
- To prepare and maintain detailed records in connection with the construction of the works,
- Upon becoming aware of any hazardous materials being encountered as the construction and installation of the Phase V Works progresses to forthwith notify the Municipality and the MECP and Conservation Authority in the event that any hazardous materials are encountered, and
- To prepare and furnish "Record" drawings of the works as required by the Phase V Subdivision Agreement.

The undersigned agrees that the undersigned will immediately advise Municipality of Middlesex Centre and its above mentioned consulting engineers should there be any alteration in the undersigned's above described retainer and instructions from Sifton Properties Limited.

In connection with the Servicing Plans attached to the Phase V Subdivision Agreement, Development Engineering (London) Limited hereby acknowledges and agrees that:

- That the Servicing Plans have been and may continue to be reviewed and used by the Municipality of Middlesex Centre, The Corporation of the County of Middlesex, the Conservation Authority, Her Majesty the Queen in right of the Province of Ontario as represented by the Ministry of the Environment, Conservation and Parks and Climate Change and the Joint Board of Management for the Lake Huron Primary Water Supply System in the normal course of their

Timberwalk Phase V  
Subdivision Agreement

duties in connection with the approvals and permitting processes for the Phase V Subdivision Agreement; and

- That the Servicing Plans may be relied upon by any person who deals with the Phase V Land after the Phase V Subdivision Agreement has been registered on the title to the Phase V Land and who obtains access to the Servicing Plans from the Land Office or from the offices of the Municipality.

Executed the \_\_\_\_ day of \_\_\_\_\_, 202\_\_

DEVELOPMENT ENGINEERING (LONDON) LIMITED

Per:

Name: Ryan Hern, P. Eng.

Title: Principal

I have the authority to bind the corporation

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "I"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under  
the laws of the Province of Ontario having its registered office in  
the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**HOMEOWNERS' PACKAGE**

*See following pages.*

## Welcome to your New Home!

This manual has been prepared as a guide to help new homeowners like you protect and appreciate the natural areas near your home and the sensitive species in your backyard. This subdivision is next to several significant natural features including woodlands, wetlands and wildlife habitats. Your community has been designed to preserve these nearby natural features and the important habitat they provide for wildlife.



Monarch butterflies on goldenrod

Living next to these areas offers many exciting opportunities for residents to explore and learn about these unique natural areas and species. With this opportunity comes the responsibility to manage daily activities and chores so that these areas continue to flourish and remain intact for future generations.

## For More Information Please Contact

County of Middlesex  
399 Ridout Street North  
London, ON N6A 2P1  
519-434-7321

or

St. Clair Region  
Conservation Authority  
205 Mill Pond Crescent  
Strathroy, ON N7G 3P9  
stclair@scrca.on.ca  
519-245-3710



White-tailed Deer fawns









Environmental Stewardship Manual  
Prepared by:

 **NATURAL RESOURCE SOLUTIONS INC.**  
A joint: Terrestrial and Wetland Ecologist

## Living Next to Nature

Environmental  
Stewardship Manual

Timberwalk Subdivision

Woodlands	How You Can Help	Wetlands	
<p>Treed areas and woodlands in Middlesex County provide a variety of important services such as improving air quality, providing shade, reducing local energy use and providing habitat for a variety of wildlife species. The forests near your home are considered significant woodlands. Environmental protection measures, including buffers and vegetation plantings, have been employed to protect and enhance these features. A "third pipe" has been constructed to take clean water from some of the roofs and yards and direct it to the adjacent woodland in order to maintain the water levels how they were before construction. Plants and wildlife you may see in the woodland are shown below.</p>	<p>Much of the water from your property will run off into the adjacent woodland and wetlands, or is even directed there specifically. What you do on your property has a direct impact on these areas! Please consider:</p> <ul style="list-style-type: none"> <li>✓ Limit the use of de-icing salt and chemicals.</li> <li>✓ Limit excessive irrigation and fertilizer use.</li> <li>✓ Allow sump-pump to drain into your yard.</li> <li>✓ Keep domestic cats indoors or on a leash when outdoors.</li> <li>✓ Pick up pet waste.</li> <li>✓ Keep a respectful distance from wildlife.</li> <li>✓ Leave all bird nests alone; parents will often leave, but will return.</li> <li>✓ Limit birds from hitting your home's windows by installing window decals, sun catchers or other objects on the window.</li> <li>✓ Plant <i>native</i> trees, shrubs and wildflowers in your garden to create more habitat for wildlife.</li> <li>✓ Discharge pool water away from the woodlands and wetlands.</li> <li>✓ Use a car wash instead of washing vehicles in your driveway.</li> <li>✓ Leave leaves in your garden as wildlife habitat and to provide nutrients.</li> <li>✓ Pick up garbage.</li> <li>✓ Keep your vehicle in good working order so it does not leak chemicals.</li> <li>✗ Don't dump yard waste in natural areas, as this can suffocate native species and introduce non-native and potentially destructive plants into the protected area.</li> <li>✗ Don't create your own trails in natural areas.</li> <li>✗ Don't plant anything in nearby natural areas unless participating in events organized by the County or St. Clair Region Conservation Authority.</li> <li>✗ Don't disturb or handle wildlife.</li> <li>✗ Do not dig out plants from the natural areas.</li> </ul>	<p>Wetlands have a number of important roles in the environment, including water purification and flood control. They also contribute to groundwater discharge and recharge, water quality improvements and storage, and improve overall biodiversity. The wetlands adjacent to this subdivision include Maple Swamp and Willow Thicket Swamp habitats. Lands adjacent to the wetlands and woodland have been set aside as buffers to protect the natural features. Please respect the buffers and keep them natural. Many plants, birds, mammals, reptiles and amphibians call these wetlands home, including several species that are considered rare in Ontario. Some of these species are shown below.</p>	
			
<p>Baltimore Oriole</p>	<p>Mayapple</p>	<p>American Goldfinch</p>	<p>Swamp Milkweed</p>
			
<p>Blue Cohosh</p>	<p>Cedar Waxwing</p>	<p>White Turtlehead</p>	<p>Spring Peeper</p>

**SCHEDULE "J"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**IRREVOCABLE COMMERCIAL LETTER OF CREDIT**

Letter of Credit No.

To: Municipality of Middlesex Centre

Pursuant to the request of our customer, Sifton Properties Limited, the \_\_\_\_\_ Bank, at \_\_\_\_\_ Street in London hereby establishes in your favour an irrevocable letter of credit for any sum or sums not exceeding total of \_\_\_\_\_ which may be drawn on at sight by you in whole or in part at any time and from time to time by written demand for payment at the branch named above which demand we shall honour without inquiring whether you have a right as between yourself and our customer to make such demand and without recognizing any claim of our said customer.

PROVIDED, that you are to deliver to the Bank at such time as a written demand for payment is made a certificate signed by your Clerk,

- (a) that the monies demanded pursuant to this Letter of Credit are to be expended, or,
- (b) that the monies demanded pursuant to the Letter of Credit have been expended

in respect to the whole or some of our customer's obligations under the Phase V Subdivision Agreement between our customer and you dated the \_\_\_\_ day of August 2023 and registered as instrument no. \_\_\_\_\_, as amended from time to time.



Timberwalk Phase V  
Subdivision Agreement

The amount of this Letter of Credit will be reduced from time to time as you may on notice in writing signed by the Clerk advise.

This Letter of Credit will continue up to and including the 30<sup>th</sup> day of \_\_\_\_\_, 202\_ subject to the condition hereinafter set forth.

It is a condition of this Letter of Credit that it shall be deemed to be automatically extended without amendment from year to year from the present or any future expiration date, unless at least sixty (60) days prior to the present or future expiration date, we deliver notice to you in writing that we elect not to consider this Letter of Credit to be renewable for any additional period.

Except as otherwise expressly stated, this credit is subject to the Uniform Customs and Practice for Documentary Credits (2007) Revision) International Chamber of Commerce, Publication No. 600.

DATED at London, Ontario, this \_\_\_\_ day of \_\_\_\_\_, 2023.

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE “K”**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the “**Subdivider**”)

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the “**Municipality**”)

OF THE SECOND PART

**INTERIM CERTIFICATE OF COMPLETION OF WORKS**

For Good and Valuable Consideration now paid by Municipality of Middlesex Centre (hereinafter referred to as the “Municipality”) to the undersigned, the receipt and sufficiency of which is hereby acknowledged, I hereby certify that the following services (hereinafter referred to as the “Completed Services”) have been constructed and installed pursuant to and in accordance with the Subdivision Agreement (hereinafter referred to as the “**Phase V Subdivision Agreement**”) dated the \_\_\_\_ day of August, 2023 and registered as No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_ :

1. the underground services to be constructed and installed as part of the Phase V Works, as defined in the Phase V Subdivision Agreement, have been completed;
2. all utilities to be constructed and installed as required by section 31 of the Phase V Subdivision Agreement have been completed;
3. all street signs and regulatory signage to be constructed and installed as required by the Phase V Subdivision Agreement have been completed;

Timberwalk Phase V  
Subdivision Agreement

- 4. all street lights to be constructed and installed as required by the Phase V Subdivision Agreement have been completed and are fully operational; and
- 5. a full depth granular B road base suitable for emergency vehicle access on all roads to be constructed as part of the Phase V Works, as defined in the Phase V Subdivision Agreement, has been completed;

I certify also that items 1, 3, 4 and 5 above of the Completed Services have been:

- (a) inspected by me, or by a qualified person under my supervision, during construction and installation in accordance with standard engineering practice; and
- (b) in my professional engineering opinion, construction of the Phase 3 Works was carried out in substantial conformance with the plans and specifications approved by the Municipality.

Finally, I certify that the value of the Completed Services is as follows:

The value of the Completed Services referred to in item 1. above is \$ \_\_\_\_\_

The value of the Completed Services referred to in item 2. above is \$ \_\_\_\_\_

The value of the Completed Services referred to in item 3. above is \$ \_\_\_\_\_

The value of the Completed Services referred to in item 4. above is \$ \_\_\_\_\_

The value of the Completed Services referred to in item 5. above is \$ \_\_\_\_\_

for a total value of \$ \_\_\_\_\_

Certified and delivered under my hand and professional seal this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_.

Professional Engineer

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE "L"**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the "**Subdivider**")

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the "**Municipality**")

OF THE SECOND PART

**CERTIFICATE OF COMPLETION OF WORKS**

For Good and Valuable Consideration now paid by Municipality of Middlesex Centre (hereinafter referred to as the "Municipality") to the undersigned, the receipt and sufficiency of which is hereby acknowledged, I hereby certify that the construction and installation of the Phase V Works was carried out in substantial conformance with the approved plans and specifications for the Phase V Works as required by the Phase 3 Subdivision Agreement dated the \_\_\_\_ day of August, 2023 and registered as No. \_\_\_\_\_ on the \_\_\_\_ day of \_\_\_\_\_, 2012 have been completed; and I hereby certify that all such services have been:

- (a) inspected by me, or by a qualified person under my supervision, during construction and installation in accordance with standard engineering practice; and
- (b) in my professional engineering opinion, construction and installation of the Phase 3 Works was carried out in substantial conformance with the plans and specifications approved by the Municipality.

Certified and delivered under my hand and professional seal this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_.

Professional Engineer

Timberwalk Phase V  
Subdivision Agreement

**SCHEDULE “M”**

to

THIS SUBDIVISION AGREEMENT made this \_\_\_\_ day of August 2023.

**B E T W E N:**

SIFTON PROPERTIES LIMITED, a corporation incorporated under the laws of the Province of Ontario having its registered office in the City of London and the County of Middlesex

(hereinafter referred to as the “**Subdivider**”)

OF THE FIRST PART

- and -

MUNICIPALITY OF MIDDLESEX CENTRE  
(hereinafter referred to as the “**Municipality**”)

OF THE SECOND PART

**ASSET INVENTORY**

ASSET INVENTORY									
Subdivision Name: _____									
Number of Lots: _____									
M Plan Number : _____									
Date: _____									
Summary									
Category	Estimate (\$)	Description	Total Length (m)				Cost / Metre		
Storm	\$ -	Storm Sewers and Services							
Sanitary	\$ -	Sanitary Sewers and Appurtenances							
Water	\$ -	Watermains and Services							
Roads	\$ -	Roadworks (granulars to base asphalt)							
Roads	\$ -	Curbs and Gutter							
S/W	\$ -	Sidewalks / Walkways							
Roads	\$ -	Surface Asphalt							
SWM	\$ -	SWM							
Lighting	\$ -	Street Lighting							
	\$ -						Cost / Metre Cost / Lot		
Breakdown									
		Length (M)							
Category	Length	Estimate (\$)	150 dia	200 dia	250 dia	375 dia	450 dia	525 dia	750 dia
Storm		\$ -							
Sanitary		\$ -							
Water		\$ -							
Total		\$ -							