

ZONING DATA CHART

GROSS SITE AREA: 10,915.53 m ²		ASPHALT AREA: 3,542.01 m ²	
BUILDING AREA: 2,577.37 m ²		LANDSCAPED AREA: 4,796.15 m ²	
PROPOSED UNIT COUNT 64		AMENITY AREA: 2,863.04 m ²	
ITEM	(UR3-27)(h-2)(h-3)(h7)	REQUIRED	PROVIDED
1	LOT AREA (m ²)	1.0 ha*	1.09 ha
2	LOT FRONTAGE (m MIN)	9.8*	9.8
3	LOT DEPTH (m MIN)	35.0	149.1
4	FRONT YARD DEPTH (m MIN)	6.0	9.5
5	SIDE YARD SETBACK (m MIN)	8.0* (ABUTTING EX. RES.) 6.0* (ABUTTING NO RES.) 5.8* (ABUTTING COMMERCIAL)	8.0 6.0 5.8
6	REAR YARD (m, MIN)	8.0	11.1
7	VEHICLE PARKING	SEE PARKING REQUIREMENTS NOTE	SEE PARKING REQUIREMENTS NOTE
8	HEIGHT (m MAX)	14.0*	14.0
9	NUMBER OF UNITS	---	64
10	DENSITY (UNITS PER HECTARE, MAX)	60.0	59.0
11	LANDSCAPED OPEN SPACE (%)	---	43.9
12	OUTDOOR AMENITY AREA (m ² /UNIT, MIN.)	45.0	45.0
13	LOT COVERAGE (% MAX.)	35.0	23.6

* MIDDLESEX CENTRE ZONING UR3-27

PERMITTED USES

URBAN RESIDENTIAL THIRD DENSITY (UR3) ZONE
(MUNICIPALITY OF MIDDLESEX CENTRE ZONING BY-LAW):

- ACCESSORY USE
- APARTMENT DWELLING
- MULTIPLE UNIT DWELLING
- STREET TOWNHOUSE DWELLING
- TOWNHOUSE DWELLING

PARKING REQUIREMENTS

MIN. PARKING SPACE DIMENSIONS 2.7m X 5.5m, MIN. BARRIER FREE DIMENSIONS 3.7m X 5.5m.
DUPLIX DWELLING, LINK DWELLING, APARTMENT DWELLING, MULTIPLE UNIT DWELLING, STREET TOWNHOUSE, TOWNHOUSE DWELLING = 1.5 SPACES PER UNIT

TOTAL PARKING REQUIRED = 96 SPACES (1.5/UNIT) + 7 VISITOR SPACES (0.1/UNIT) = 103 SPACES
TOTAL PARKING PROVIDED = 103 SPACES (1.6/UNIT)

TOWNHOMES - 16 UNITS @ 2 SPACES/UNIT = 32 SPACES
STACKED TOWNHOMES - 48 UNITS @ 1.48/UNIT = 71 SPACES
TOTAL PARKING = 103 SPACES

AS PART OF TOTAL REQUIRED PARKING COUNT
BARRIER FREE (FOR 101-150 SPACES) REQUIRED = 5 SPACES = 5 SPACES PROVIDED
VISITOR SPACES @ 0.1 SPACES/UNIT REQUIRED = 7 SPACES = 7 SPACES PROVIDED

WASTE REMOVAL

GARBAGE TO BE STORED EXTERNALLY IN DEEP WELL GARBAGE CONTAINERS AND OWNER TO ARRANGE SITE PICK-UP AND REMOVAL.

BUILDING CLASS

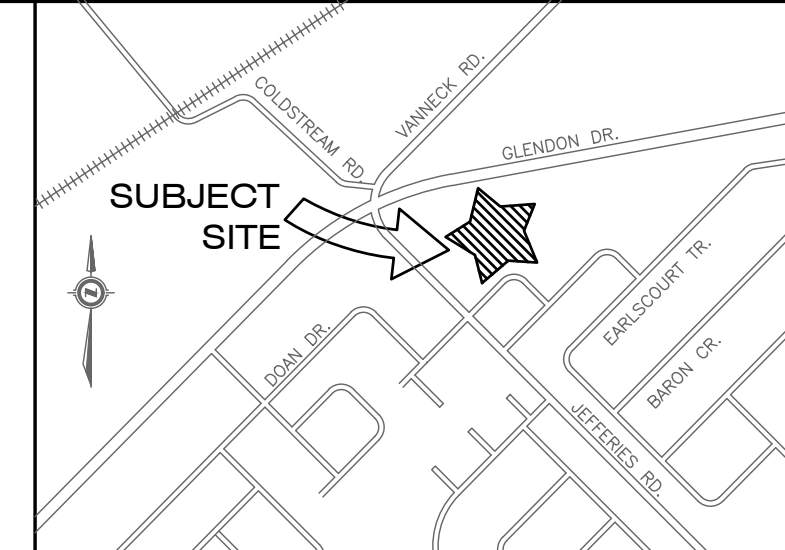
RESIDENTIAL - GROUP C OCCUPANCY, PART 9 OF THE ONTARIO BUILDING CODE

CANADA POST

THIS DEVELOPMENT WILL RECEIVE MAIL TO A NEAR-BY SUPERBOX AS LOCATED BY CANADA POST.

REFERENCE DOCUMENTS:

- SITE SERVICING DESIGN BRIEF PREPARED BY SBM, PROJECT No: SBM-22-1778.
- BENCHMARKS PROVIDED BY DRAWINGS FROM STANTEC, PROJECT 161413646, DATED MAY 2023 AND ENG PLUS, PROJECT 131111, DATED JANUARY 2015.
- EXISTING CONDITIONS TOPOGRAPHIC SURVEY PROVIDED BY TRUCLINE SERVICES INC., PROJECT No. JAAR-18-50, DATED FEBRUARY 12, 2018.
- FUTURE ROAD WORK AND ALIGNMENT OF GLENDON DRIVE PROVIDED BY STANTEC, PROJECT No. 161630077, DATED DECEMBER 16, 2021.
- LANDSCAPE PLAN BY DAN WEAGANT, DATED MARCH 14, 2024.
- PHOTOMETRICS PLAN BY SBM, PROJECT No: SBM-22-1778 DATED MARCH 2024.



KEY PLAN
N.T.S.

LEGAL INFORMATION

PART BLOCK 60
PLAN 33M656
MIDDLESEX CENTRE
IN THE
COUNTY OF MIDDLESEX

SITE BENCHMARK:

MONUMENT TYPE: GEODETIC BENCHMARK 0011978U037
LOCATION: TABLET IN NORTHEAST FACE OF CONCRETE RETAINING WALL OF KOMOKA C.N.R. WING WALL AT INTERSECTION OF COLDSTREAM ROAD, 2.4KM NORTHEAST OF MAIN STREET IN TOWN, 0.3KM NORTHWEST OF INTERSECTION OF COLDSTREAM ROAD CONCESSION 2 - LOBO ROAD; 2.6m NORTHWEST OF MOST NORTHERLY RAIL, 24cm SOUTHWEST OF START OF SLOPE OF NORTHWEST WING WALL AND 21cm BELOW TOP

GEODETIC ELEVATION: 250.581
MONUMENT TYPE: BOLT
LOCATION: CONCRETE BRIDGE ON OXFORD STREET WEST (FORMERLY COMMISSIONERS ROAD WEST) CROSSING THE THAMES RIVER, 16.0m EAST OF THE CENTRELINE OF OLD RIVER ROAD. BOLT SET IN THE NORTH FACE OF BRIDGE ON THE NORTH SIDE OF OXFORD STREET WEST, 0.65m EAST OF THE NORTHWEST CORNER AND 0.28m DOWN FROM THE TOP

GEODETIC ELEVATION: 229.787
(CONTRACTOR TO CONFIRM BENCHMARK ELEVATIONS)

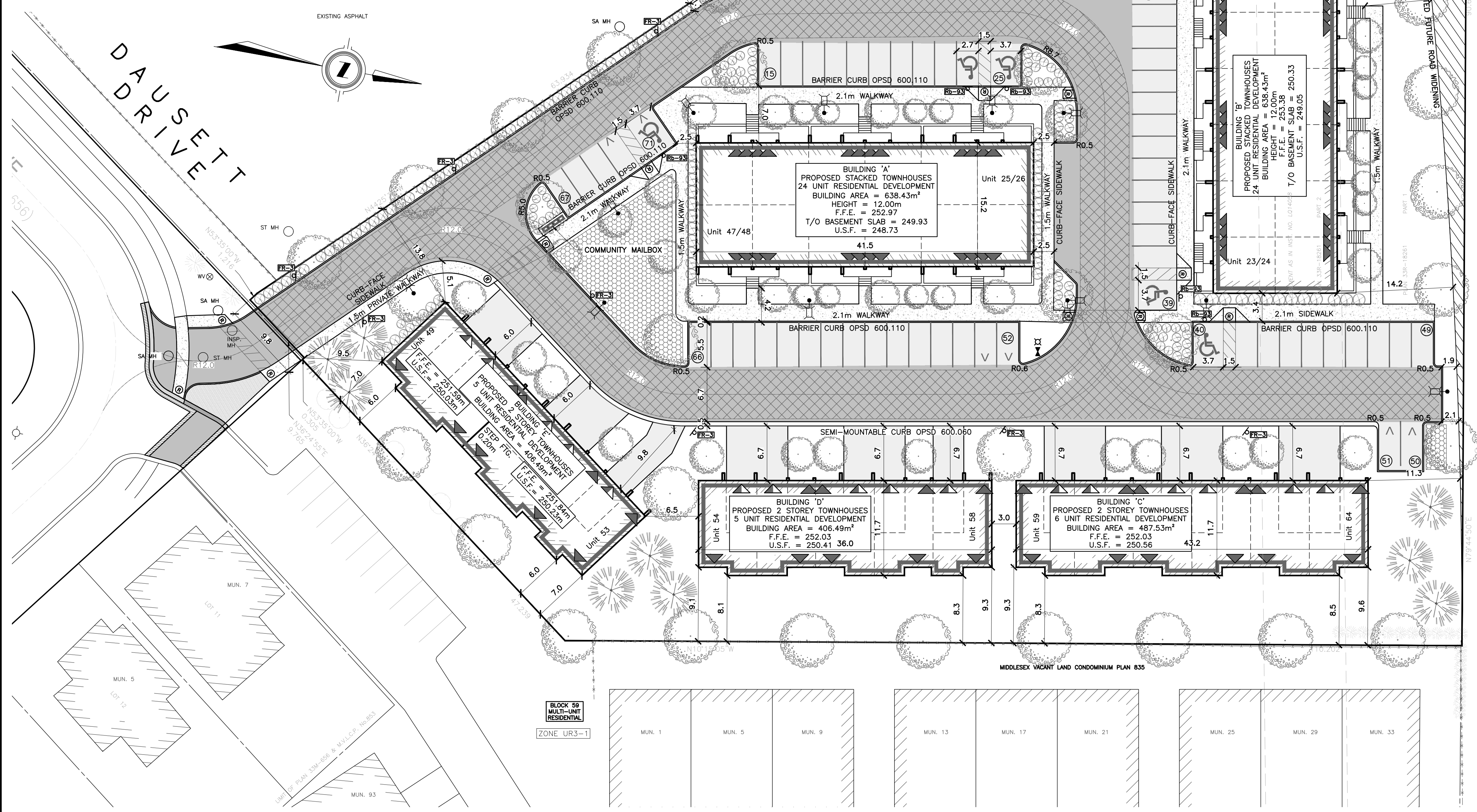
LEGEND:

- XX-X PROPOSED SIGN, TYPE OF SIGN
- PROPOSED BARRIER FREE ROUTE
- PROPOSED FIRE ROUTE (6.0m WIDE, 12.0m RADIUS)
- PROPOSED SNOW STORAGE
- ⊕ PROPOSED RAMP (SEE DETAIL ON SP2)
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED FIRE DEPARTMENT CONNECTION
- ⊕ PRINCIPAL BARRIER FREE ENTRANCE & FIRE FIGHTER ACCESS ENTRANCE
- ▲ BUILDING ENTRANCE
- ▲ OVERHEAD DOOR
- ▲ DRIVETHRU WINDOW
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED CONCRETE
- PROPOSED RETAINING WALL (DESIGNED BY OTHERS)
- EXISTING BUILDING
- PROPOSED BUILDING
- LIMITS OF SUBJECT PROPERTY
- ⊕ DECIDUOUS/CONIFEROUS TREE
- ⊕ BH 3 BOREHOLE LOCATIONS, SEE GEOTECHNICAL INVESTIGATION

LIST OF DRAWINGS

SHEET SP1	SITE PLAN, LEGEND & ZONING CHART
SHEET SP2	DETAILS

THE PLAN IS COMPILED AND SHOULD NOT BE CONSIDERED A PLAN OF SURVEY.



AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
DESIGN	BM	1	ISSUED FOR REVIEW/DISCUSSION	08/03/24	AB	
DRAWN	AB	2	ISSUED CLIENT REVIEW	22/03/24	AB	
CHECKED	RF/MG	3	ISSUED FOR SITE PLAN APPROVAL	02/04/24	AB	
APPROVED	RF/MG					
DATE				22/03/2024		
CAD	22-1778					

STRIK BALDINELLI MONIZ
PLANNING - CIVIL - STRUCTURAL - MECHANICAL - ELECTRICAL
1599 Adelaide St. N, Unit 301, London, Ontario, N5X 4E8
Tel: (519) 471-6667 Fax: (519) 471-0034
Email: sbm@sbmltd.ca

ENGINEER'S STAMP
LICENSED PROFESSIONAL ENGINEER
M. A. GNANASEKAR
100542757
April 2, 2024
SBM-22-1778
PROVINCE OF ONTARIO

CLIENT
756949 ONTARIO LTD.
ORANGE ROCK DEVELOPMENT
3003 PAGE STREET
LONDON, ONTARIO
N5V 4J1
P: 519.652.2104

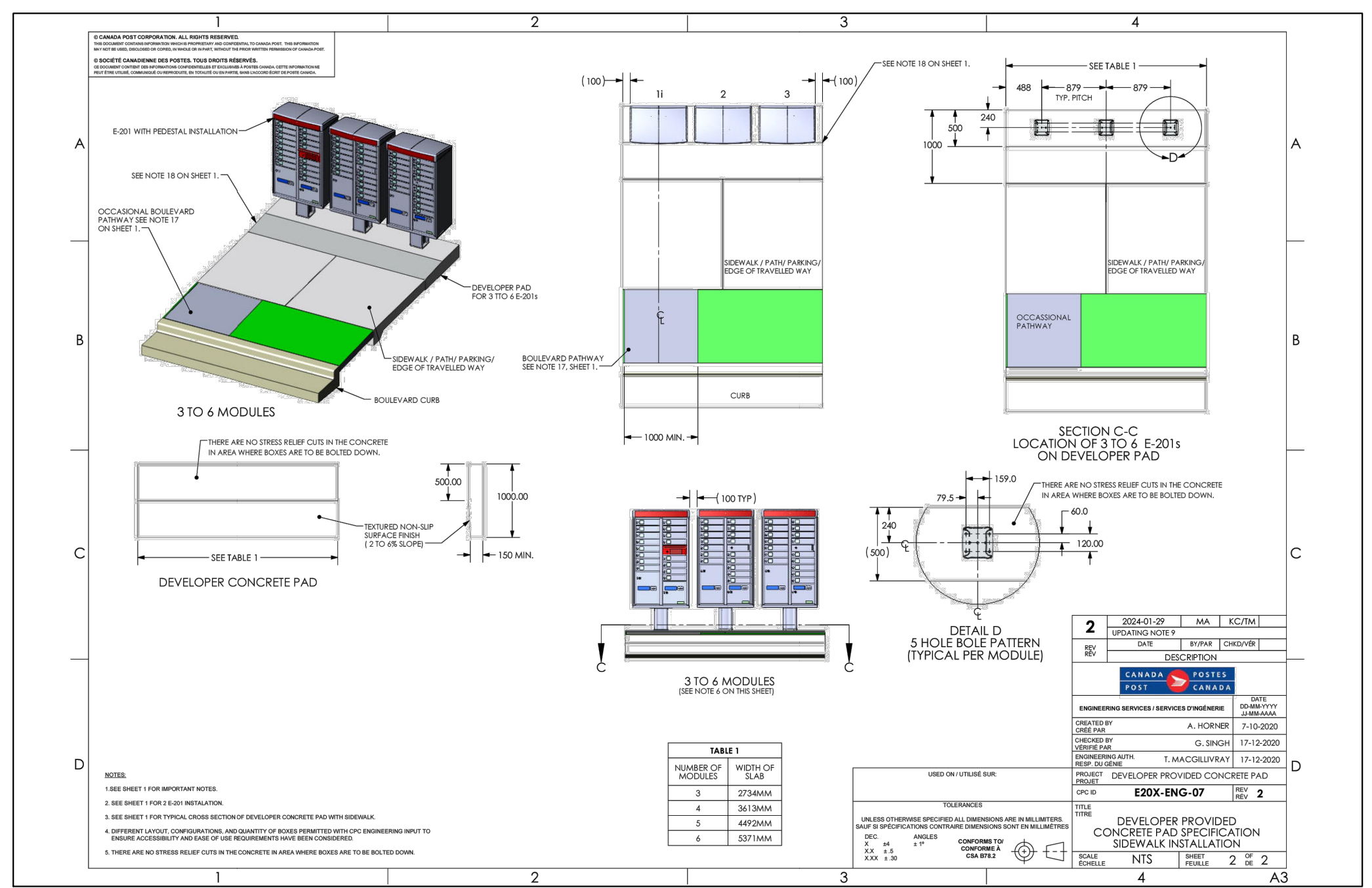
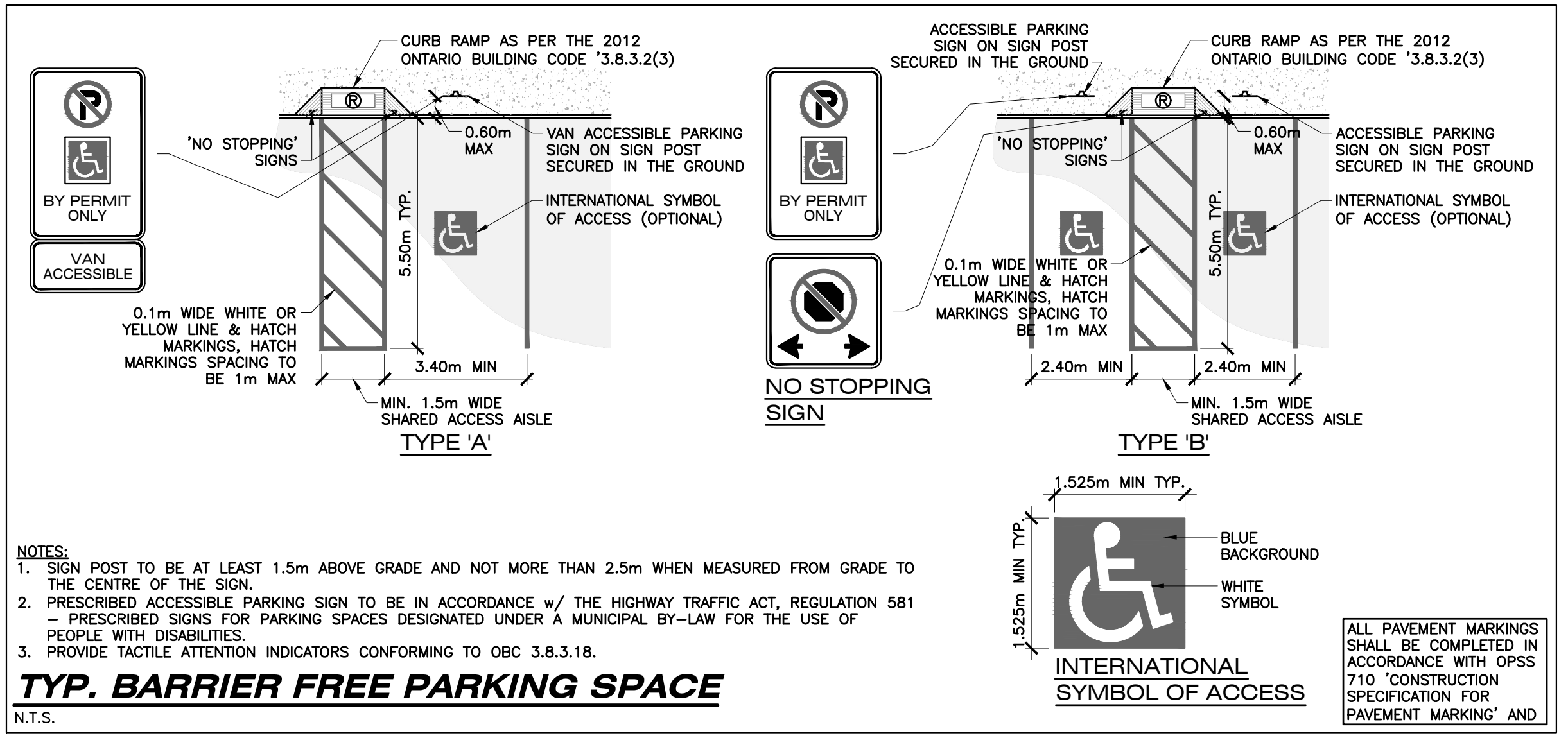
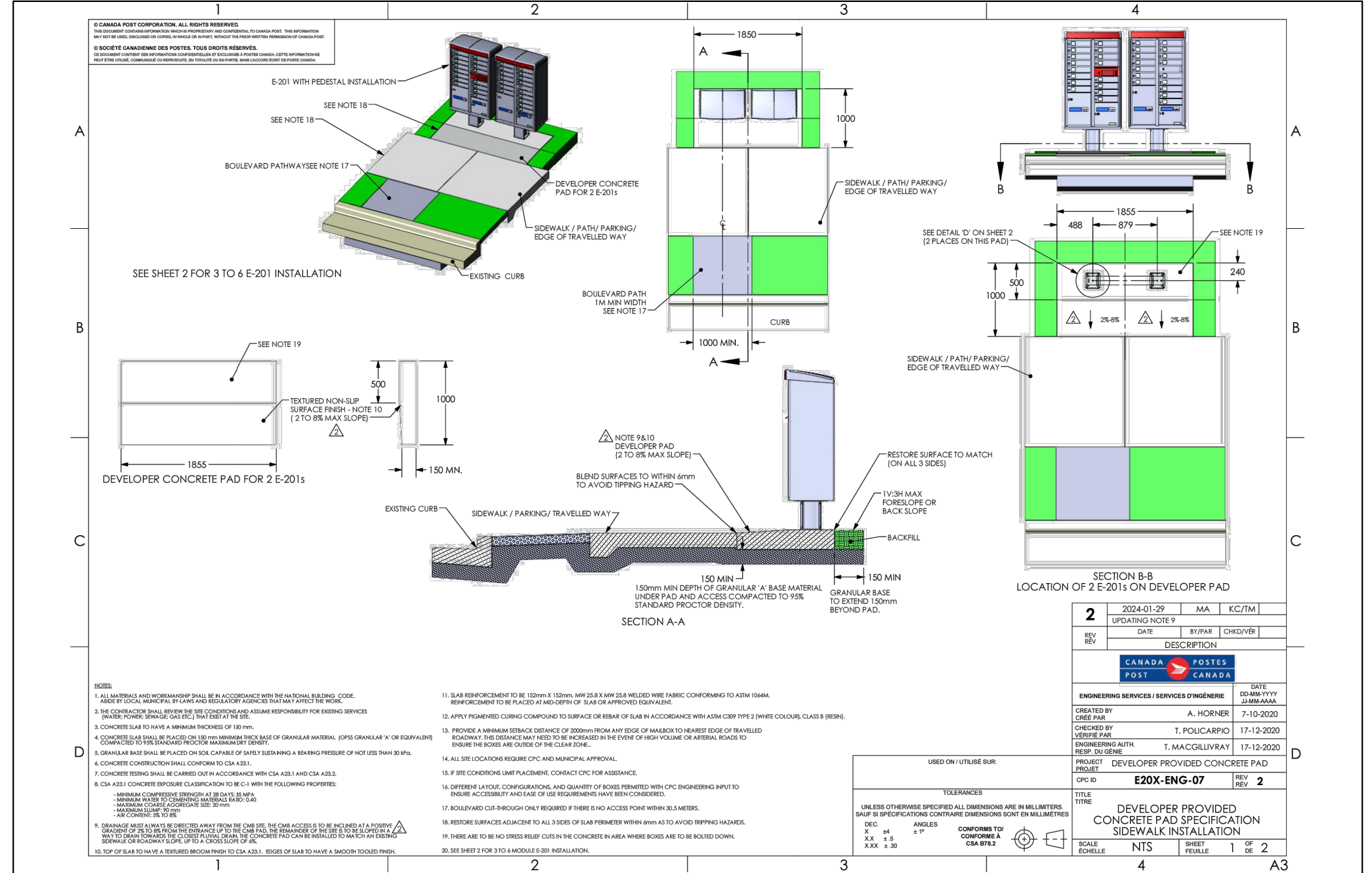
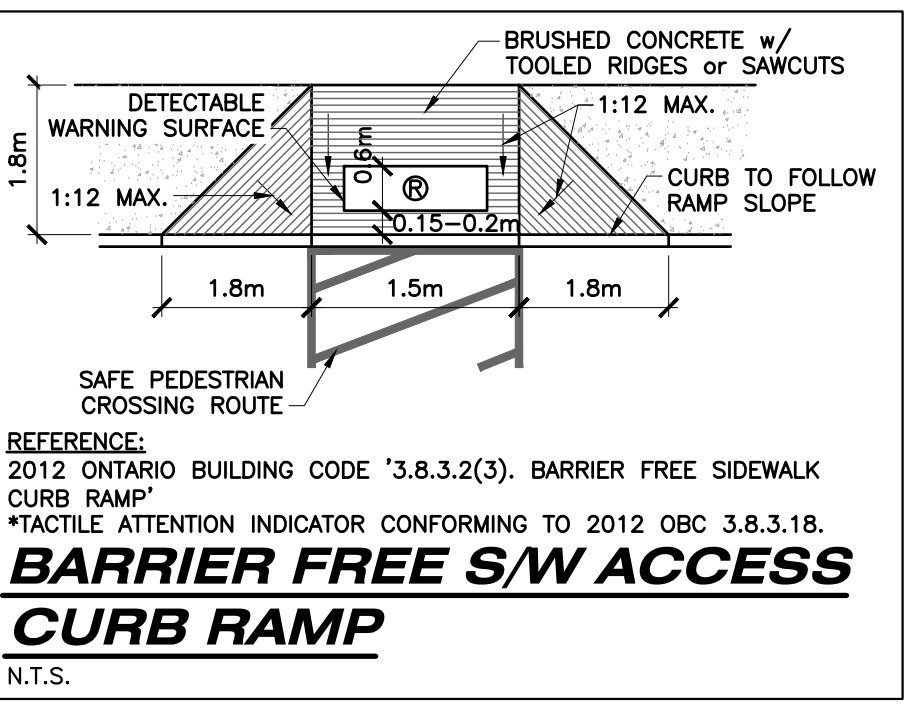
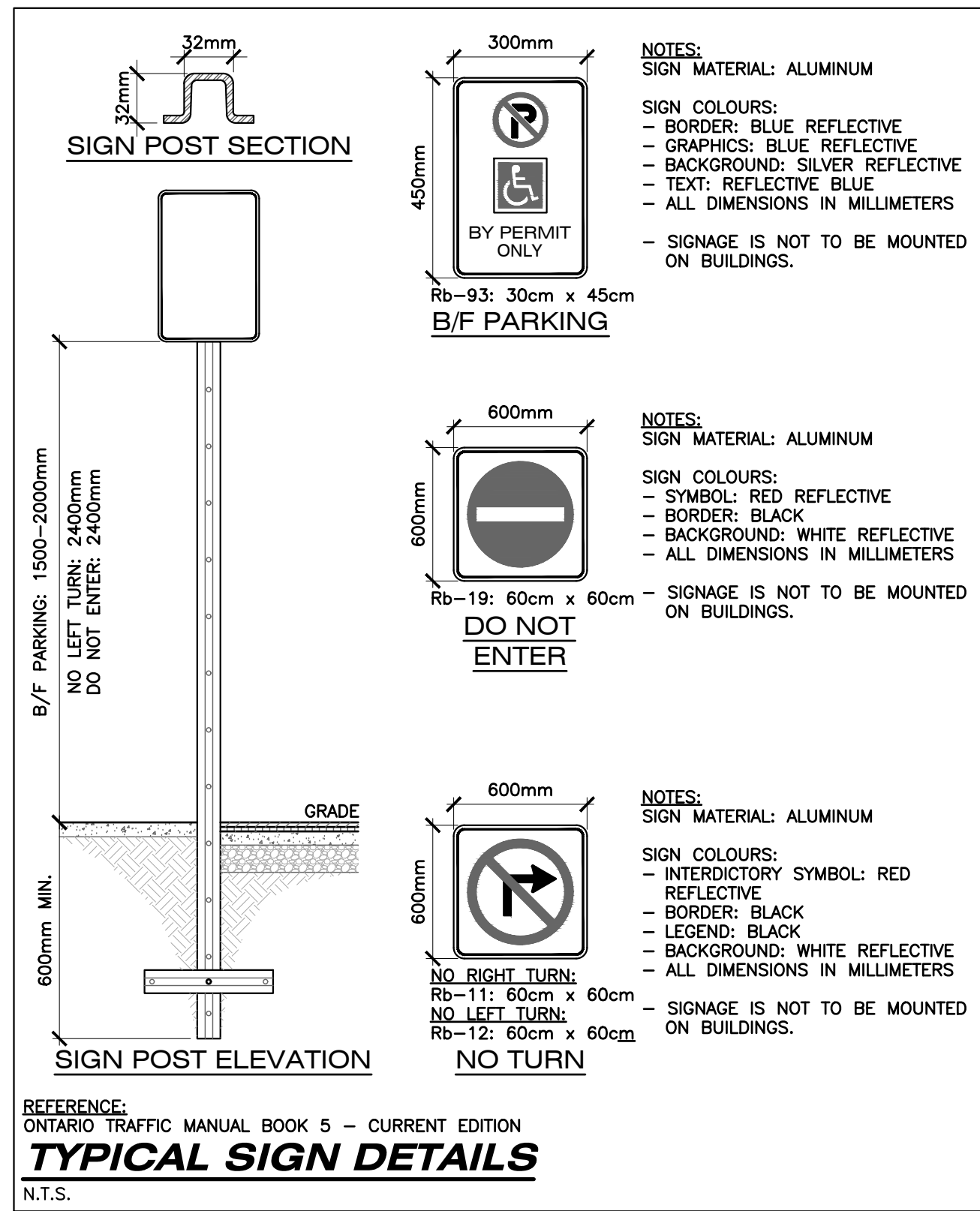
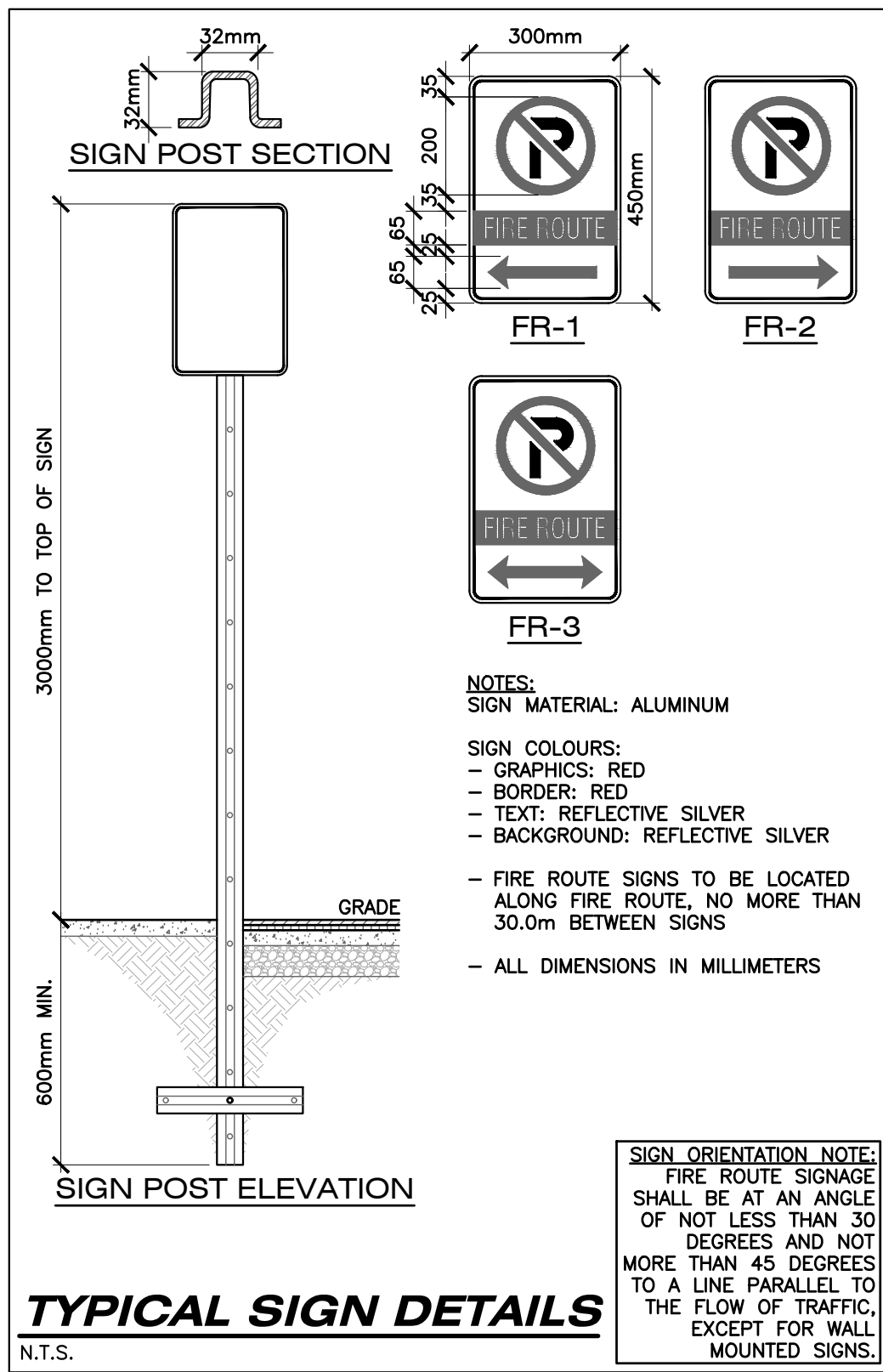
SCALE
SCALE - 1:300
3.0 0 6.0m

TITLE
SITE PLAN, LEGEND & ZONING CHART

PROJECT No.
SBM-22-1778

SHEET No.
SP1

PLAN FILE No.



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 LONDON, ONTARIO
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SCALE
 N/A

TITLE
DETAILS
KILWORTH RESIDENTIAL
 22428 JEFFERIES ROAD
 MIDDLESEX CENTRE, ON.

PROJECT No.	SBM-22-1778
SHEET No.	SP2
PLAN FILE No.	