



PLANNING JUSTIFICATION REPORT

MN 311 GEORGE STREET, ILBERTON

MUNICIPALITY OF MIDDLESEX CENTRE, ONTARIO

LDS PROJECT LD-00211

December 2020

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EXECUTIVE SUMMARY

The following report provides a land use planning justification in support of a Zoning By-law amendment application for 311 George Street in the Municipality of Middlesex Centre, Ontario.

A review of all relevant planning documents has been undertaken and has identified the opportunity for a Zoning By-law amendment to permit a 45-unit townhouse development at the subject location.

This report includes the review of the Provincial Policy Statement (2020); the County of Middlesex Official Plan; the Municipality of Middlesex Centre Official Plan; and the Municipality of Middlesex Centre Zoning By-law as they apply to the subject site.

Also included in this analysis is a review of CMHC residential data demonstrating the demand for housing of all structure types for the London CMA, which includes the Municipality of Middlesex Centre. The demand for new housing units (including rental units) is on the increase within those municipalities on the periphery of the City of London given the lack of serviced residential land in the City of London.

1.0 PURPOSE OF REPORT

The purpose of this report is to provide a land use planning analysis and justification for a Zoning By-law amendment application pertaining to the property identified as 311 George Street in the Municipality of Middlesex Centre.

The applicant and property owner are Gold Leaf Properties Ltd. Consulting services are provided by LDS Consultants Inc. of London, Ontario. Ben Billings, MPA MCIP RPP is the primary contact for the property owner / applicant and can be contacted at (519) 878-4633.

2.0 SUBJECT PROPERTY DESCRIPTION

The subject site is located in the westerly portion of the Village of Ilderton, Ontario and is identified as 311 George Street (Figure 1). Having frontage on George Street of 33.2 m (108.9 ft.); a lot width of 87 m (285.4 ft.); a lot depth of 183.3m (601.4 ft.), a total lot area for the subject property is calculated at 1.95 ha (4.8 acres).

George Street can be described as an older residential street adjacent to the village commercial core in the Village of Ilderton. George Street is comprised primarily of both older and newer single detached dwellings.

3.0 MUNICIPAL SERVICES

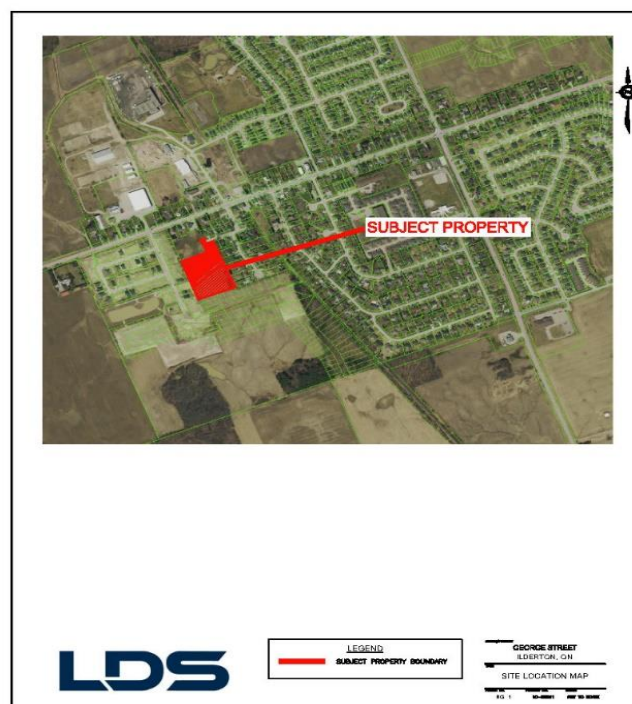
Refer to Site Servicing Study.

4.0 APPLICATION CONSULTATION

Communications with planning staff indicate the need for a number of studies including a Planning Justification Report. Other studies requested by the municipality include a traffic study, an archeological assessment, a site servicing report and a geotechnical investigation.

In addition, staff requested that a preliminary site plan be submitted demonstrating how the subject property may function with respect to the required parking, setbacks, fencing / landscaping and building coverage. The following sections of this report will address the concerns expressed by planning staff as the result of these communications.

Figure 1 – Location Map



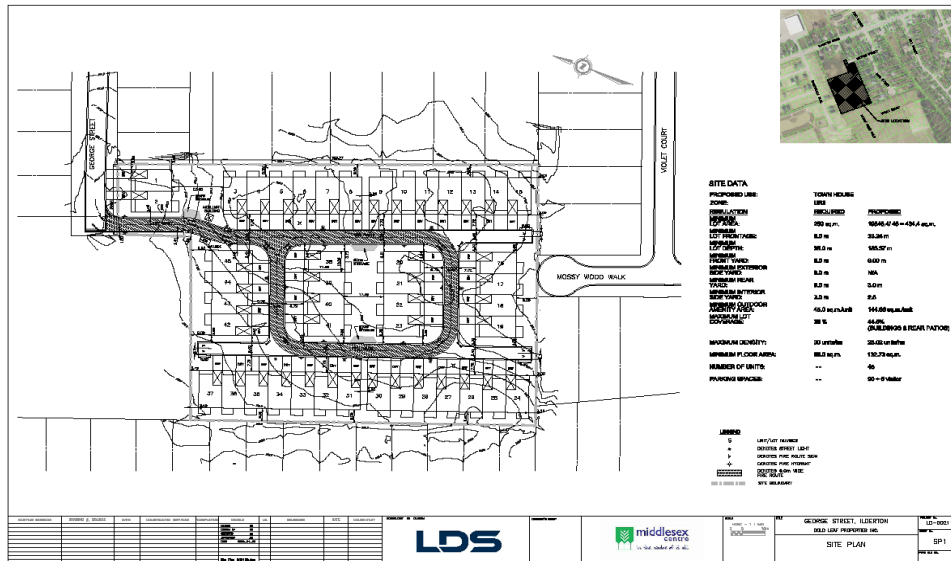
5.0 REQUESTED AMENDMENT

A Zoning By-law amendment is being sought in order to facilitate the development of 45 townhouse dwellings on the subject property. More specifically, a “site specific” amendment to the Zoning By-law (No. 2005-005) to achieve an Exception Residential (R3) Zone is being sought for the subject property.

6.0 PROPOSED USE AND PROPOSED SITE PLAN

Figure 2 presents a proposed site plan that depicts the development of 45 townhouse units on the subject property. Access to the property is proposed to be from George Street.

Figure 2 – Proposed Site Plan



7.0 BENEFITS OF PROPOSED DEVELOPMENT

The proposed 45-unit townhouse development will utilize a vacant parcel of land and will assist in diversifying the residential housing stock within the municipality. It will also result in the more efficient use of municipal services.

There is currently a high demand for housing units in the London CMA creating housing affordability issues for many households. The addition of 45 townhouse units to the housing stock will assist by providing affordable rental housing to the Municipality of Middlesex Centre housing market.

Financially, the Municipality of Middlesex Centre will benefit from the property taxes that will be generated from the proposed development for the long term.

8.0 PROPERTY CONTEXT AND SURROUNDING LAND USE

The subject site at 311 George Street located at the westerly end of George Street which is an older residential street. Lands to the south, east and west of the subject property are occupied by larger, single detached dwellings. Lands to the south include a dental clinic and village commercial uses.

The following photos are the surrounding uses:



Subject Property



Existing Residential to the East



Existing Residential to the West



Commercial Uses to the North



Existing Residential Uses to the South

9.0 PLANNING ANALYSIS

9.1 Provincial Policy Statement (2020)

Current provincial policy regarding urban development favours “Settlement Areas” as the primary location for development in order to fully utilize existing municipal services (i.e. sewers, public transit, parks, etc.) and to use land more efficiently to curb the impacts of urban sprawl.

More specifically, Section 1.1.3.1 of the Provincial Policy Statement (2020) regarding “Settlement Areas” indicates that settlement areas “shall be the focus of growth and development” This policy requires municipalities to utilize existing lands more efficiently in order to discourage the expansion of “Settlement Area” boundaries into agricultural areas.

Accordingly, the proposed 45-unit townhouse development will utilize an existing vacant property that has frontage on a public street and has access to municipal services. The County of Middlesex Official Plan identifies the Village of Ilderton as an “Urban Settlement Area” making the subject property an appropriate location for urban development.

Further, Section 1.1.3.2 requires that land use patterns within settlement areas be based on “densities and a mix of land uses which efficiently use land and resources”; and, “a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3.”; also,

Section 1.1.3.3 states that “Planning authorities shall identify and promote opportunities for intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including Brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.”

The subject site provides an opportunity for residential intensification by being an underutilized parcel of land in close proximity to municipal services. Further, the proposed 45-unit townhouse development will contribute to a diversity of housing for the municipality through residential intensification.

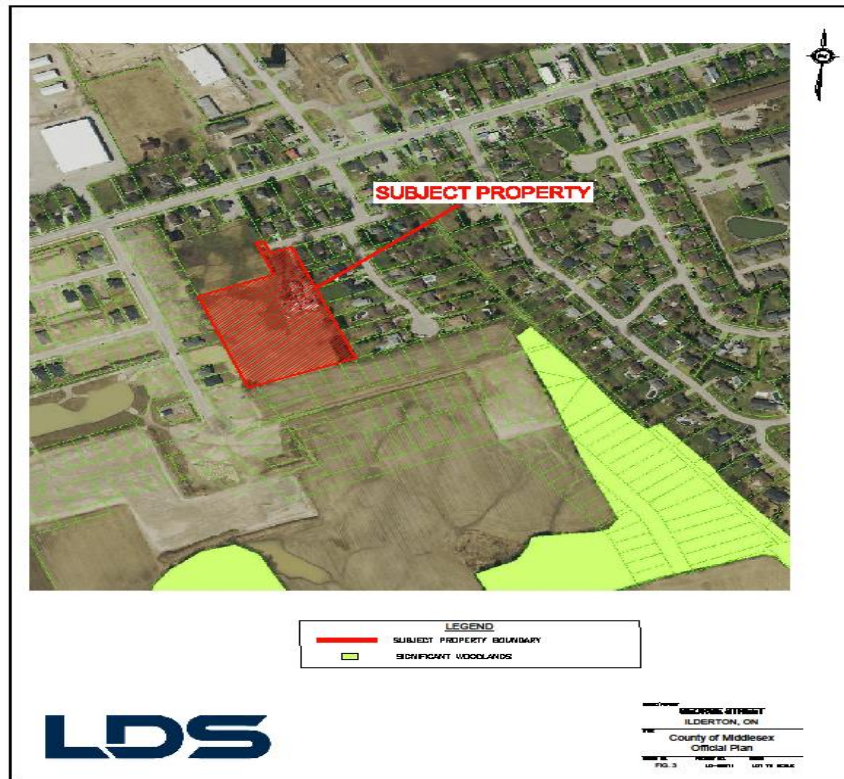
9.2 Middlesex County Official Plan (Consolidation: 2006)

Section 2.3.2 of the County of Middlesex Official Plan contains the Growth Management Hierarchy for the County. This Strategy identifies three types of “Settlement Areas” to be established within the local municipalities.

These areas include: Urban Areas; Community Areas; and Hamlets in Agricultural Areas. In addition to several other considerations, the level of development that is expected to take place within the settlement areas is based on the ability of the settlement area to provide municipal services including a potable water supply and wastewater treatment.

In accordance with these criteria, the Village of Ilderton is deemed to be an “Urban Settlement Area” due to its ability to provide the aforementioned municipal services. The proposed development complies with the County of Middlesex Official Plan that encourages the intensification and utilization of existing lands in Urban Settlement Areas to avoid potential conflicts with land uses in the surrounding rural areas.

Figure 3 – County of Middlesex Official Plan



9.3 Municipality of Middlesex Centre Official Plan (Consolidation: July 2018)

The subject site is currently designated “Residential” in the Municipality of Middlesex Centre Official Plan. Policy 5.2.1 of the Official Plan indicates that the Municipality will encourage a range of housing types to meet the market needs of the Municipality. This policy also indicates that the Municipality shall support opportunities to increase the supply of residential units through intensification.

Policy 5.2.2 of the Official Plan indicates that the predominant use of land within areas designated “Residential” shall be a range of residential types including: single detached, semi-detached, townhouses, duplex / triplex / fourplex dwellings, and low/medium rise apartments.

Policy 5.2.3 contains the criteria for Multiple Dwellings in Residential Areas:

Multiple dwellings, including fourplexes, townhouses and low / medium rise apartments shall be subject to the following policies:

a) Locations should be proximate to adequate open space or park areas, schools, or Village Centre areas where possible.

Response: The subject site is adjacent to the south of the Ilderton Village Centre

b) Densities proposed should be generally compatible with adjacent densities when proposed adjacent to or within existing residential areas.

Response: The proposed density meets the residential density for townhouse developments contained in Zoning By-law 2005-005 which is 30 units per hectare. The proposed density is 23.02 units per hectare.

c) For apartment dwellings, locations should be in close proximity to a major roadway, or roadway suitable for carrying higher than average volumes of traffic.

Response: N / A

d) The excessive clustering of multiple dwellings shall be avoided, and a general integration and distribution of such uses at appropriate locations within neighbourhoods or settlements is encouraged.

Response: The proposed townhouse development is the only multi-unit development in the general area

e) Notwithstanding Subsection (d) above, the siting of multiple dwellings adjacent to or in close proximity to Village Centres, is encouraged.

Response: The proposed townhouse development is adjacent to the Ilderton Village Core.

f) Townhouses and apartments shall be subject to the site plan approval requirements of Section 41 of the Planning Act, and Section 10.5 of this Plan and having regard for the Municipality's Site Plan Manual and Urban Design Guidelines.

Response: The proposed townhouse development is subject to Site Plan Approval under Section 41 of the Planning Act as well as applicable Municipal policies.

The subject site exists in an older, built-up residential area adjacent to the village core. Access to the site is via George Street which is considered to be a local street.

9.4 Municipality of Middlesex Centre – Zoning By-law No. 2005-005

The Municipality of Middlesex Centre Zoning By-law currently zones the subject site Existing Use (EU) (Figure 5). This zone acts essentially as a holding zone and requires a Zoning By-law amendment prior to development.

Section 10.1 of Zoning By-law No. 2005-005 contains the Urban Residential Third Density (UR3) Zone which permits multiple-unit dwellings including townhouse dwellings. A "site specific" Zoning By-law Amendment to Section 10.3 of the Zoning By-law is being requested in order to facilitate the development of a 45-unit townhouse development at the subject location.

The various permitted uses are subject to different zone provisions subject to Section 10.1 of the Zoning By-law. The following table outlines the required and proposed zone provisions for the proposed townhouse development in the Zoning By-law:

Zone Provision	Required Zone Provision	Proposed Zone Provision
Minimum Lot Area (per unit)	250 m ²	19546.4 / 45 = 434.4 m ²
Minimum Lot Frontage	6.0 m	33.2 m
Minimum Front Yard Depth	6.0 m	10.06 m
Minimum Exterior Side Yard Depth	6.0 m	3.02 m*
Minimum Lot Depth	35.0 m	34.05 m*
Minimum Side Yard Depth	3.0 m	4.72 m
Minimum Rear Yard Depth	8 m	9 m
Maximum Lot Coverage	38%	38.6%
Maximum Density	30 uph	23.02 uph
Minimum Floor Area Per Unit	65 m ²	132.73 m ² / unit
Minimum Landscaped Open Space	45 m ² / unit	212.71 m ² / unit
Number of Units		45 units
Parking Spaces		90 plus 6 visitor spaces

*Denotes exception to a required zone provision

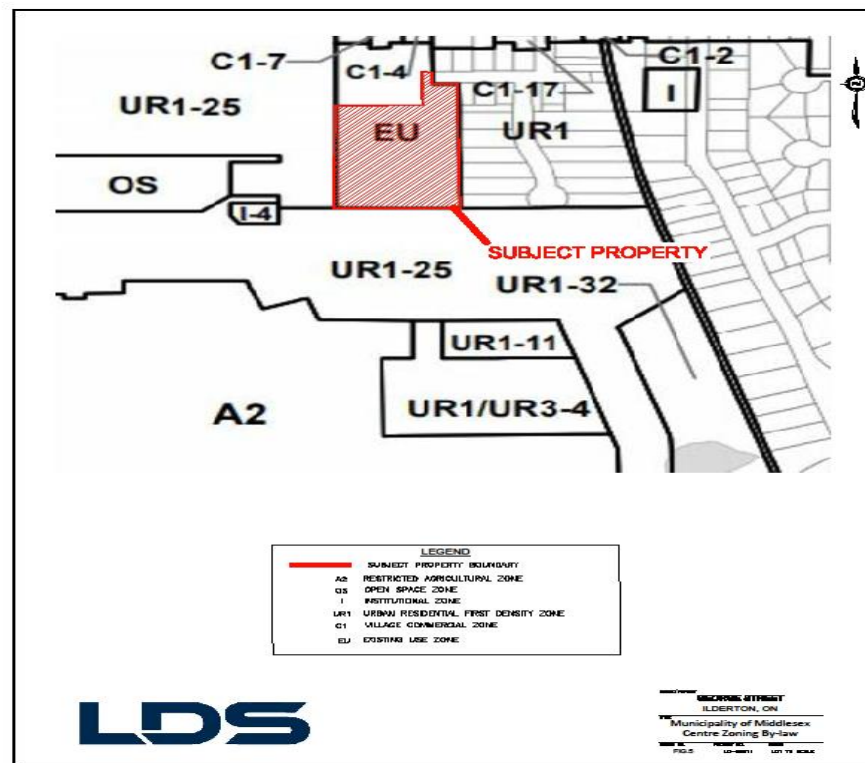
Requested Site Specific Zone:

The following is the requested Site Specific Residential (R3) Zone:

R3 - (311 George Street)

- a) Defined Area: UR3- as shown on Schedule 'A', Map No. U-7 to this By-law.
- b) Permitted Uses: townhouse dwellings (45 units)
- c) Lot Provisions:
 - i) Minimum Exterior Side Yard Depth: 3.02 m
 - ii) Minimum Lot Depth: 34.05 m

Figure 4 - Zoning By-law Schedule



10.0 RESIDENTIAL DEMAND (LONDON CMA):

10.1 Provincial Policy Statement (2020):

Section 1.4.2 of the Provincial Policy Statement (2020) indicates that land allocation requirements within lower-tier municipalities must be based on population projections provided by the upper-tier municipality. As such, the Municipality of Middlesex Centre, which includes the Village of Ilderton, must have regard to the population projections provided by the County of Middlesex.

Population projections provided by the County of Middlesex (2015 - 2019) indicate that the County population is projected to be 78,558 in 2016 an increase of 10.8%; while the 2016 population for Middlesex Centre is projected to be 18,546 an increase of 12.5% over the five-year planning horizon. The previous population study for the County of Middlesex (2003) projected a growth rate of 3.6% every five years. As such, It is apparent that population growth within Middlesex County in recent years has been considerably greater than anticipated thereby causing an increased demand for housing.

10.2 Housing Demand (London CMA):

The Canada Mortgage and Housing Corporation (CMHC) publishes a variety of housing market related reports for Canada's major urban centres on a Census Metropolitan Area (CMA) basis. A CMA can be generally described as an

urban area that includes a major urban municipality, such as the City of London, with a population of 100,000 residents or more and surrounding communities with smaller populations such as St. Thomas and Middlesex Centre that have an important economic and social connection to the larger urban municipality. Collecting demographic data on a CMA basis allows housing data to be analyzed at both the local and regional scales.

The publication “Housing Market Outlook for the London CMA – Fall 2019” provides the most current housing data for the London CMA including the Municipality of Middlesex Centre. The forecast period for this report extends to the fall of 2021. Due to increased economic and population growth in the London CMA, the demand for new housing is expected to continue as there is currently an under-supply of housing units in the resale market.

It is expected that between 8,400 and 9,900 housing starts will occur during the forecast period. The demand for new housing units will continue as employment opportunities in agriculture and manufacturing increase in the London CMA. Single-detached starts are expected to increase from between 1,250 and 1,450 units for 2020 which is the largest increase since 2012. This trend is again largely due to an undersupplied resale market in the London CMA. Multi-unit residential starts are expected to be stable for 2020 falling within a range of 1,600 units to 2,000 units. (CMHC Housing Market Outlook, Fall 2019).

For 2020, there is expected to be between 2,900 to 3,400 housing starts for the London CMA again due to an undersupplied resale housing market. Employment and population growth will continue to increase the demand for housing in the London CMA for 2020.

11.0 SITE PLAN APPROVAL

The proposed 45-unit townhouse development will require site plan approval pursuant to Section 41 of the Planning Act (1990). Figure 2 provides a proposed site plan noting the exceptions to the zone provisions being requested to accommodate the proposed site plan.

Figure 2 depicts a 45-unit townhouse development located on the subject property with parking for 90 vehicles; 2 spaces per dwelling unit and 6 visitor parking spaces. Access to the property is proposed directly from George Street.

It is proposed that a board privacy fence will be erected for the entire periphery of the property and that all other requirements of the Site Plan Approval process will be met in accordance with Municipal policy.

12.0 CONCLUSIONS AND RATIONALE

The preceding analysis provides a rationale and justification to support an amendment to the Zoning By-law in conformity with the Provincial Policy Statement (2020) the County of Middlesex Official Plan (Consolidation: 2006): and in consideration of the residential policies of the Municipality of Middlesex Centre Official Plan (Consolidation: July 2018).

The subject site is a vacant and underutilized lot located adjacent to the village centre, and therefore, close to many amenities. The requested amendment would facilitate the provision of 45 townhouse units for the housing market. These units would assist with housing affordability by providing choice to consumers in the Village of Ilderton housing market.

13.0 REFERENCES

- 1) Provincial Policy Statement (2014)
- 2) County of Middlesex Official Plan (Consolidation: 2006)
- 3) Municipality of Middlesex Centre Official Plan (Consolidation: July 2018)
- 4) Municipality of Middlesex Centre Zoning By-law (No. 2005-005)
- 5) Housing Market Outlook for the London CMA – Fall 2019