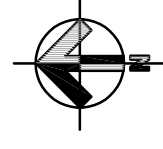
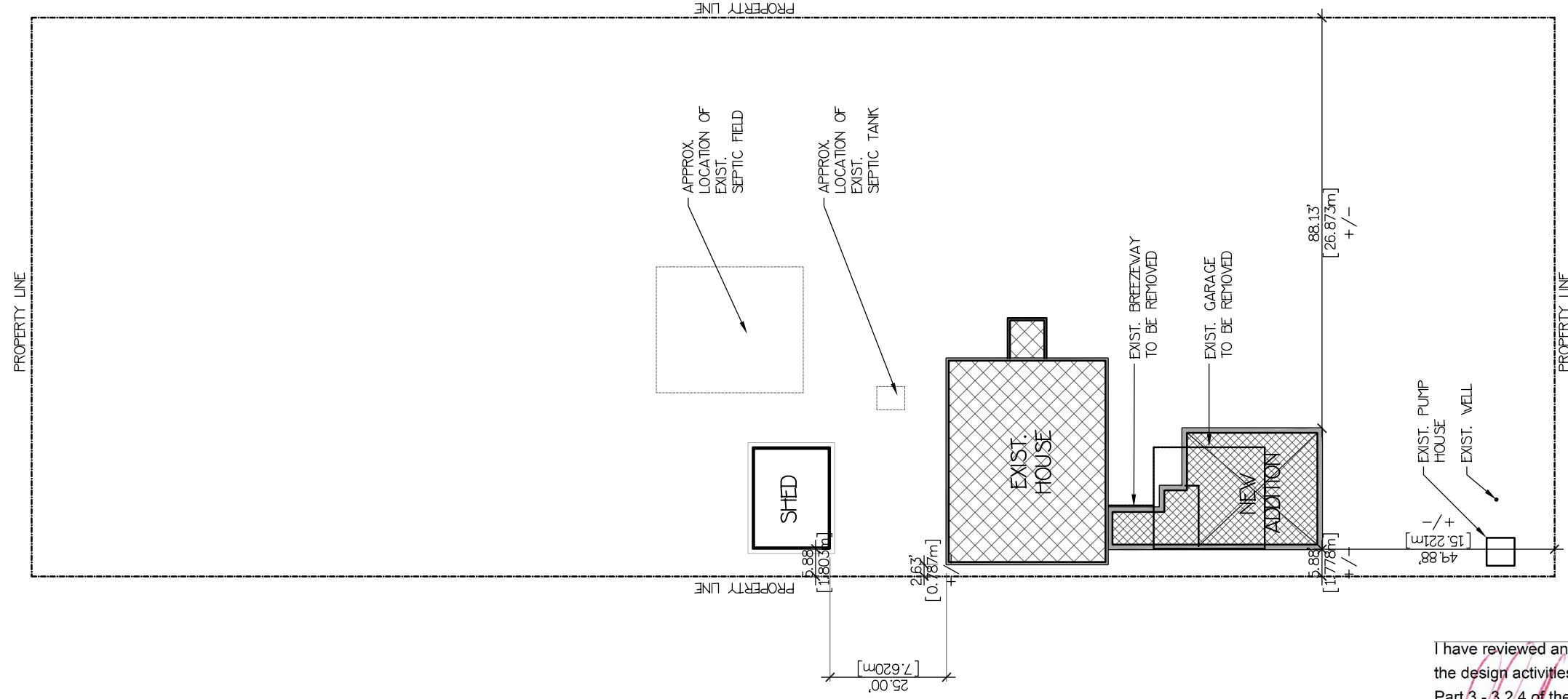


SUBJECT SITE



KEY PLAN  
N.T.S.



**SITE PLAN**  
SCALE = 1" = 30'-0"

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C

15/10/20

designed by  
**Eden Hall**  
architectural  
design - drafting  
www.edenhall.ca

72 Rogers Ave.  
London, On  
N6H 1G7  
519-439-6262

No.	DATE	REVISIONS	BY
01	15/10/20	issued for permit	DD

Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings area drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

Name: Side Addition - garage & Bedrm's

Lot/Location: 25235 Nairn Rd

Drawn: DD  
Designed: DD  
Scale: 1" = 30'-0"

Date: Aug./20

Total Sq. Ft. -  
Drawing: SITE PLAN

File Number  
20043

Sheet:  
SP-1

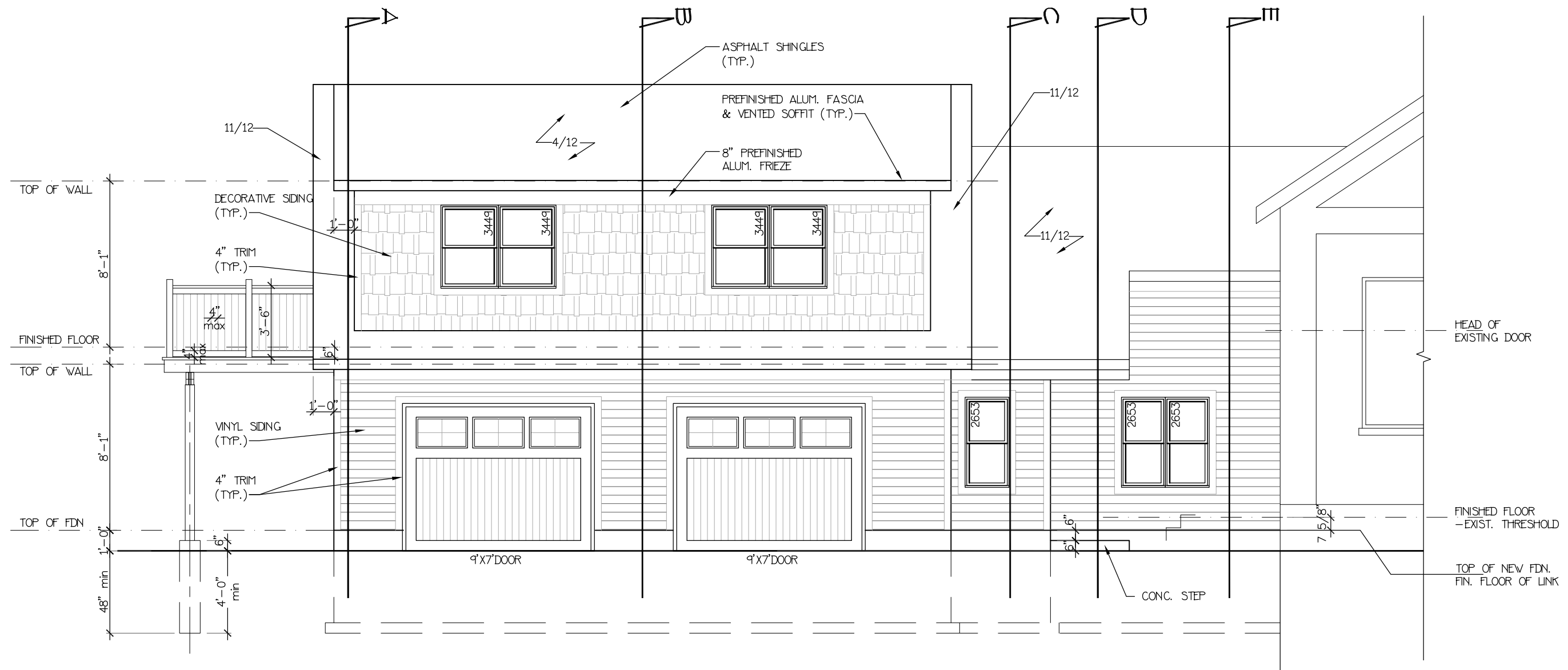
NOTE:  
CORBEL OUT ALL BRICK SOLDIER COURSES,  
KEYSTONES, QUINS & OTHER BRICK  
DETAILING 1" MAX.

NOTE:  
WINDOW SIZES ARE NOMINAL FRAME  
SIZE AND MAY VARY SLIGHTLY

NOTE: ALL DRAWINGS TO BE  
READ IN CONJUNCTION WITH  
THE GENERAL NOTES

ARCHITECTURAL SYMBOL LEGEND

- ☒ Denotes solid support to foundation.
- ⊕ SA/CO Denotes smoke alarm / Carbon Monoxide Detector (interconnect all units in the home.)
- ⊕ SA Denotes smoke alarm w/ visual signaling component as per OBC 9.10.19 (interconnect all units in the home.)
- ⊕ Denotes exhaust fan (vent to exterior with a min horizontal run of 3-4 feet.)
- ⊕ F.D. Denotes floor drain.
- ⊗ Denotes point load from above
- ⊕ attic access Denotes attic access hatch 20"x28" w/ insulation and weatherstripping-min(R-20)



FRONT ELEVATION

Name: Side Addition - garage & Bedrm's	
Lot/Location: 25235 Nairn Rd	
Drawn: DD	Date: Aug./20
Designed: DD	Scale: -
Total Sq. Ft.:	Drawing: FRONT ELEVATION

No.	DATE	REVISIONS	BY
01	15/10/20	issued for permit	DD

Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C  
 15/10/20  
 designed by Dan Doneff -BCIN: 21236  
 FIRM: Eden Hall -BCIN: 44223







designed by  
**Eden Hall**  
 architectural  
 design - drafting  
 www.edenhall.ca  
 72 Rogers Ave.  
 London, Ont  
 N6H 1G7  
 519-439-6262

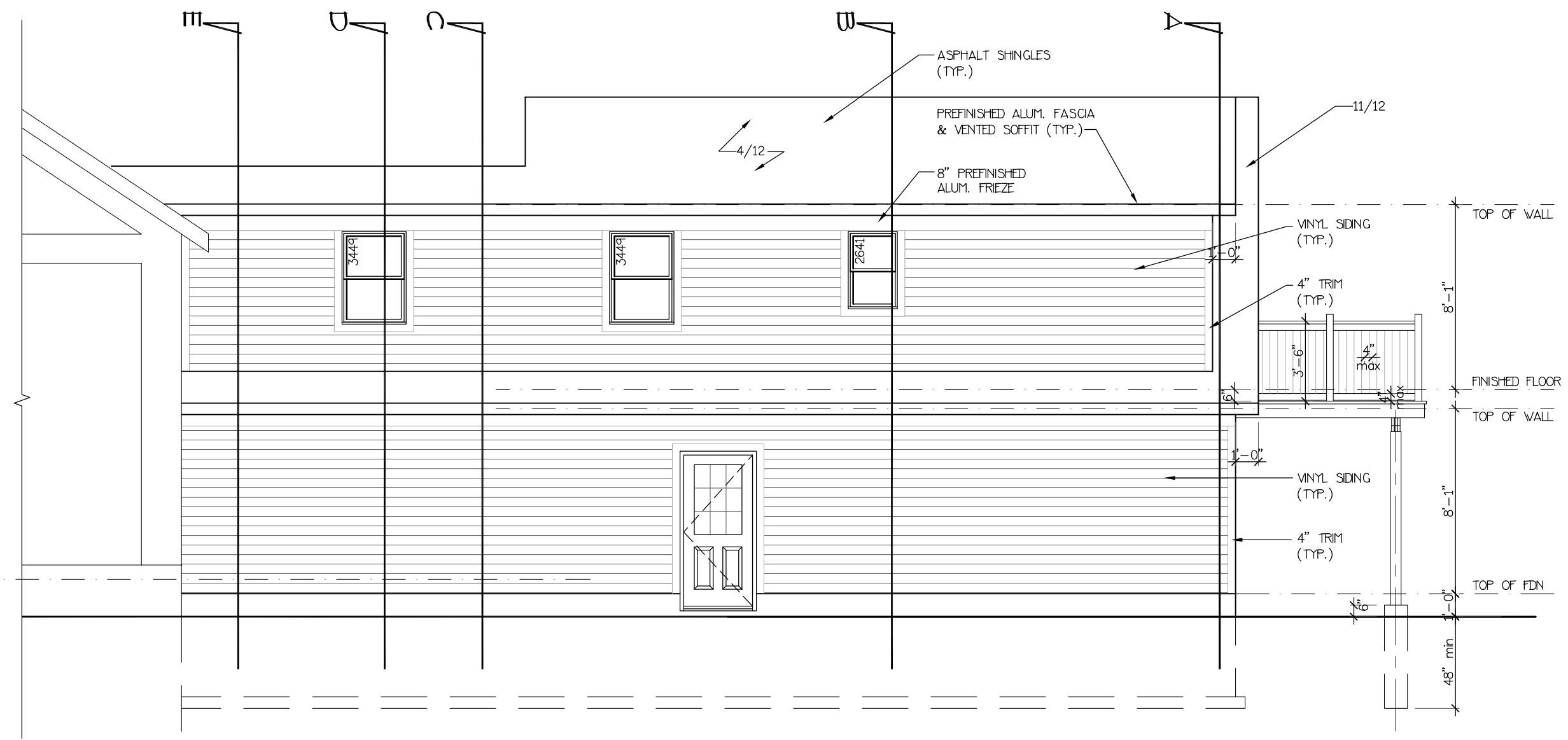
NOTE:  
CORBEL OUT ALL BRICK SOLDIER COURSES,  
KEYSTONES, QUINS & OTHER BRICK  
DETAILING 1" MAX.

NOTE:  
WINDOW SIZES ARE NOMINAL FRAME  
SIZE AND MAY VARY SLIGHTLY

NOTE: ALL DRAWINGS TO BE  
READ IN CONJUNCTION WITH  
THE GENERAL NOTES

ARCHITECTURAL SYMBOL LEGEND

- ☒ Denotes solid support to foundation.
- SA/CO  Denotes smoke alarm / Carbon Monoxide Detector (interconnect all units in the home.)
- SA  Denotes smoke alarm w/ visual signaling component as per OBC 9.10.19 (interconnect all units in the home.)
-  Denotes exhaust fan (vent to exterior with a min horizontal run of 3-4 feet.)
- F.D.  Denotes floor drain.
-  Denotes point load from above
-  Denotes attic access hatch 20"x28" w/ insulation and weatherstripping-min(R-20)



REAR ELEVATION

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C. 15/10/20

IND.: Dan Doneff -BCIN: 21236  
FIRM: Eden Hall -BCIN: 44223







<p>Eden Hall architectural design - drafting www.edenhall.ca</p>		<p>72 Rogers Ave. London, On N6H 1G7 519-439-6262</p>	
<p>designed by</p>	<p>01/15/10/20</p>	<p>issued for permit</p>	<p>DD</p>
<p>DATE</p>	<p>REVISIONS</p>	<p>BY</p>	<p>BY</p>
<p>Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings area drawn in accordance with the Ontario Building Code (O.Reg. 332/12)</p>			
<p>Name: Side Addition - garage &amp; Bedrm's</p>		<p>Lot/Location: 25235 Nairn Rd</p>	
<p>Drawn: DD</p>	<p>Designed: DD</p>	<p>Scale: -</p>	<p>Date: Aug./20</p>
<p>Total Sq. Ft. -</p>	<p>Drawing: REAR ELEVATION</p>	<p>File Number 20043</p>	<p>Sheet: 2 of 16</p>

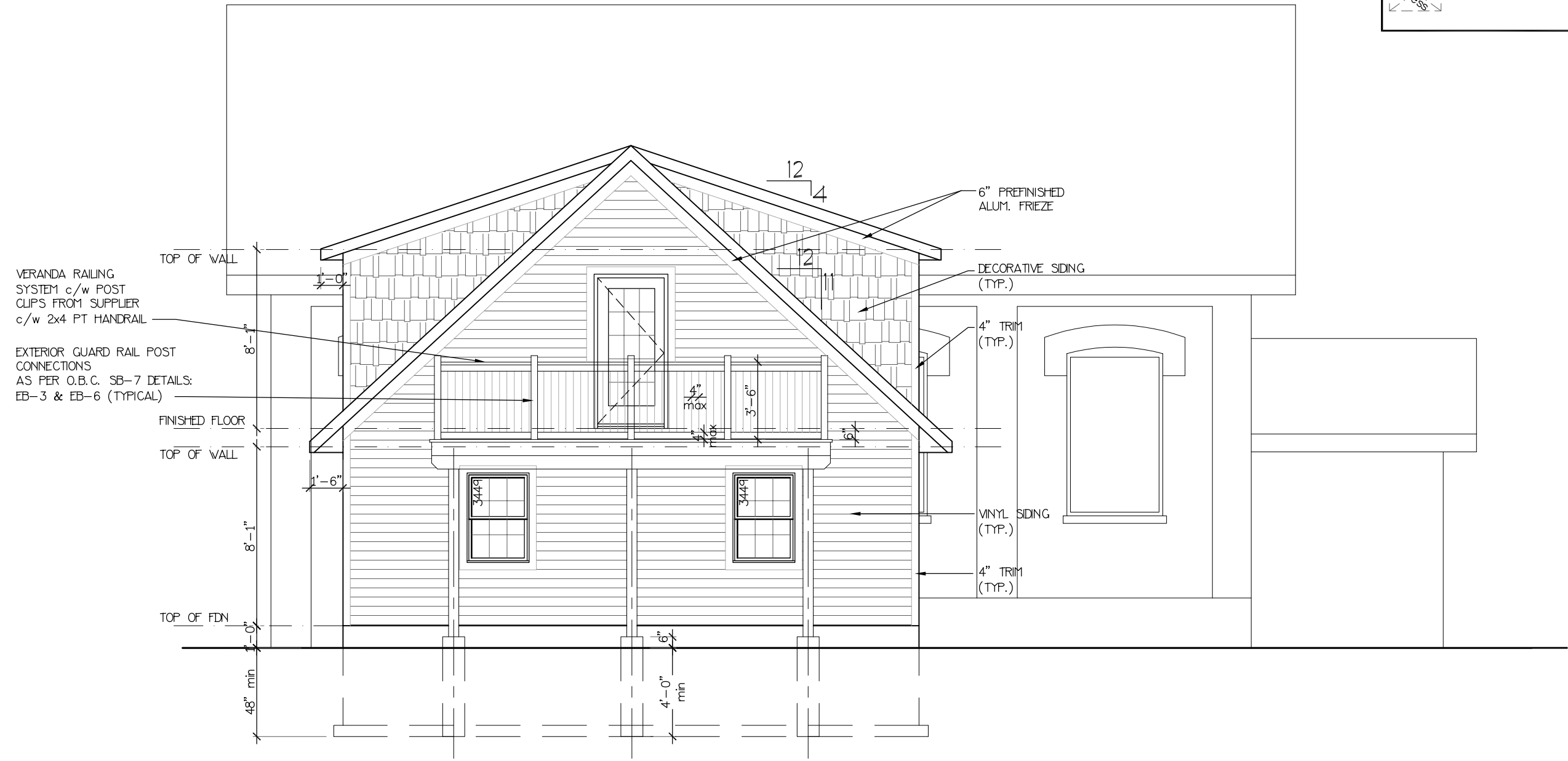
NOTE:  
CORBEL OUT ALL BRICK SOLDIER COURSES,  
KEYSTONES, QUOINS & OTHER BRICK  
DETAILING 1" MAX.

NOTE:  
WINDOW SIZES ARE NOMINAL FRAME  
SIZE AND MAY VARY SLIGHTLY

NOTE: ALL DRAWINGS TO BE  
READ IN CONJUNCTION WITH  
THE GENERAL NOTES

ARCHITECTURAL SYMBOL LEGEND

- ☒ Denotes solid support to foundation.
- SA/CO  Denotes smoke alarm / Carbon Monoxide Detector (interconnect all units in the home.)
- SA  Denotes smoke alarm w/ visual signaling component as per OBC 9.10.19 (interconnect all units in the home.)
-  Denotes exhaust fan (vent to exterior with a min horizontal run of 3-4 feet.)
- F.D.  Denotes floor drain.
-  Denotes point load from above
-  Denotes attic access hatch 20"x28" w/ insulation and weatherstripping-min(R-20)



LEFT ELEVATION

Name: Side Addition - garage & Bedrm's	
Lot/Location: 25235 Nairn Rd	
Drawn: DD	Date: Aug./20
Designed: DD	Scale: -
Total Sq. Ft.:	Drawing: LEFT ELEVATION
File Number	Sheet:
20043	3 of 16

No.	DATE	REVISIONS	BY
01	15/10/20	issued for permit	DD

Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C. 15/10/20

IND.: Dan Doneff -BCIN: 21236  
FIRM: Eden Hall -BCIN: 44223

designed by

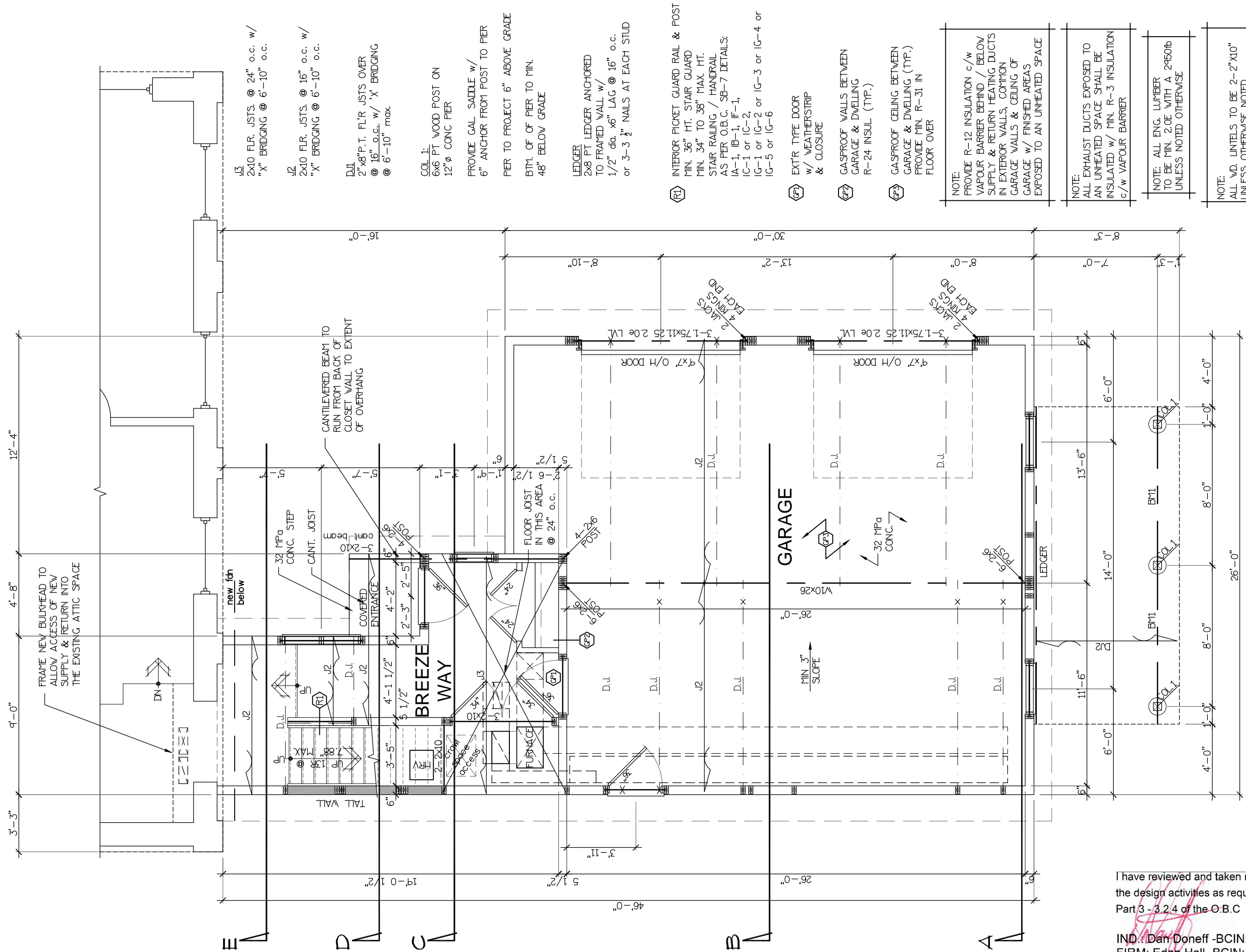
**Eden Hall**  
architectural  
design - drafting

www.edenhall.ca

72 Rogers Ave.  
London, Ont.  
N6H 1G7  
519-439-6262







# MAIN FLOOR PLAN

AREA = xxx SQ. FT.

NOTE: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES

NOTE: ALL INTERIOR PARTITIONS TO BE 3 1/2" UNLESS NOTED

NOTE: ALL EXHAUST DUCTS EXPOSED TO AN UNHEATED SPACE SHALL BE INSULATED w/ MIN. R-3 INSULATION c/w VAPOUR BARRIER

NOTE: ALL ENG. LUMBER TO BE MIN. 2.0E WITH A 2950lb UNLESS NOTED OTHERWISE

NOTE: ALL WD. UNITS TO BE 2-2"x10" UNLESS OTHERWISE NOTED.

- (R1) INTERIOR PICKET GUARD RAIL & POST MIN. 36" HT. STAIR GUARD MIN. 34" TO 38" MAX. HT. STAIR RAILING / HANDRAIL AS PER O.B.C. SB-7 DETAILS: IA-1, IB-1, IF-1, IC-1 or IC-2, IG-1 or IG-2 or IG-3 or IG-4 or IG-5 or IG-6
- (CF1) EXTR TYPE DOOR w/ WEATHERSTRIP & CLOSURE
- (CF2) GASPROOF WALLS BETWEEN GARAGE & DWELLING R-24 INSUL. (TYP.)
- (CF3) GASPROOF CEILING BETWEEN GARAGE & DWELLING (TYP.) PROVIDE MIN. R-31 IN FLOOR OVER

NOTE: PROVIDE R-12 INSULATION c/w VAPOUR BARRIER BEHIND / BELOW SUPPLY & RETURN HEATING DUCTS IN EXTERIOR WALLS, COMMON GARAGE WALLS & CEILING OF GARAGE w/ FINISHED AREAS EXPOSED TO AN UNHEATED SPACE

NOTE: ALL EXHAUST DUCTS EXPOSED TO AN UNHEATED SPACE SHALL BE INSULATED w/ MIN. R-3 INSULATION c/w VAPOUR BARRIER

NOTE: ALL ENG. LUMBER TO BE MIN. 2.0E WITH A 2950lb UNLESS NOTED OTHERWISE

NOTE: ALL WD. UNITS TO BE 2-2"x10" UNLESS OTHERWISE NOTED.

NOTE: ALL INTERIOR PARTITIONS TO BE 3 1/2" UNLESS NOTED

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C. **15/10/20**

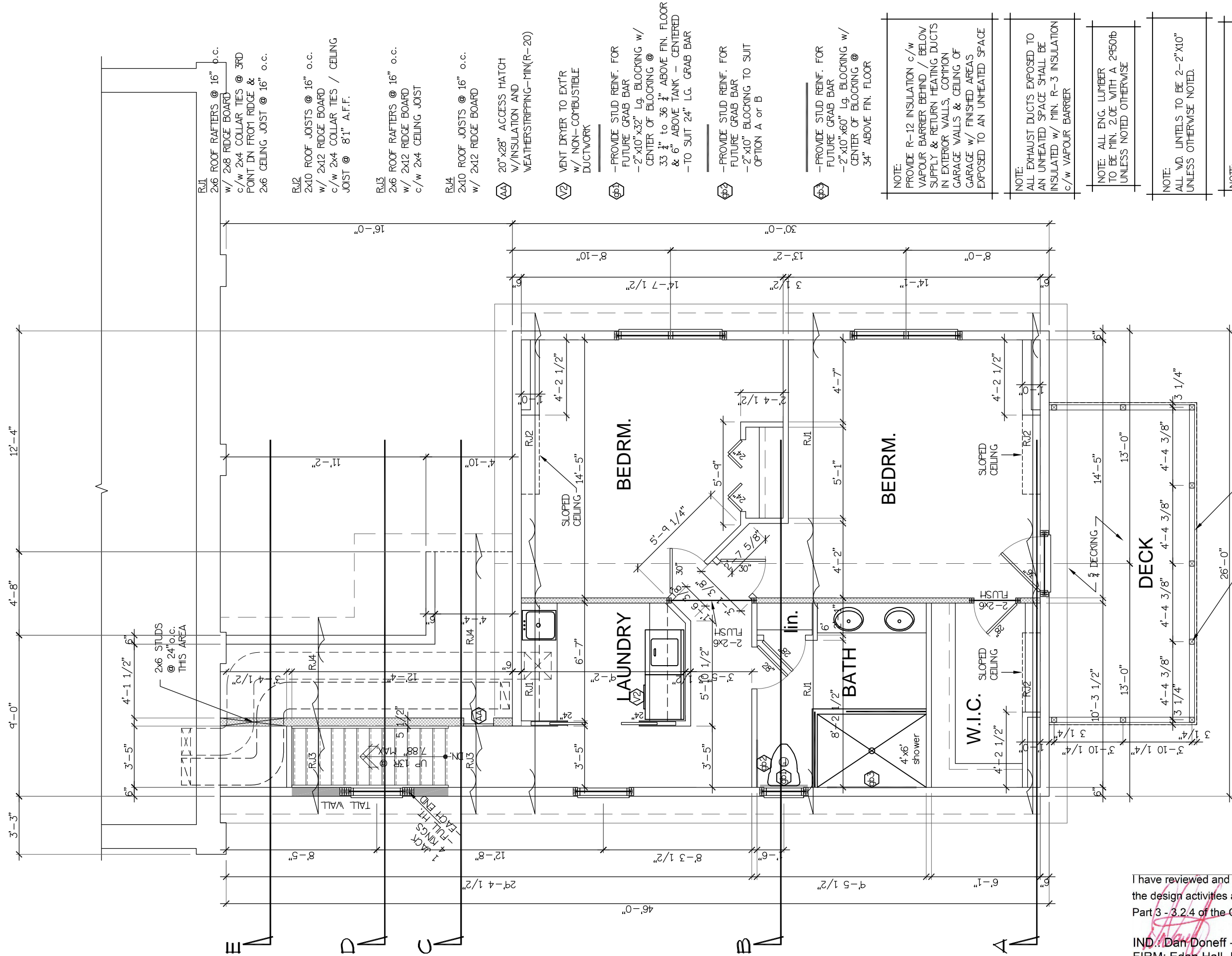
IND.: Dan Doneff -BCIN: 21236  
FIRM: Eden Hall -BCIN: 44223

designed by  
**Eden Hall**  
architectural  
design drafting  
www.edenhall.ca  
72 Rogers Ave.  
London, On.  
N6H 1G7  
519-439-6262

No.	DATE	REVISIONS	BY
01	15/10/20	issued for permit	DD

Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

Name: Side Addition - garage & Bedrm's	
Lot/Location: 25235 Nairn Rd	
Drawn: DD	Scale: 3/16" = 1'-0"
Total Sq. Ft. -	Date: Aug./20
Drawing: MAIN FLOOR PLAN	



**2ND FLOOR PLAN**

AREA = xxx SQ. FT.  
INCLUDING OPEN AREA TO BELOW

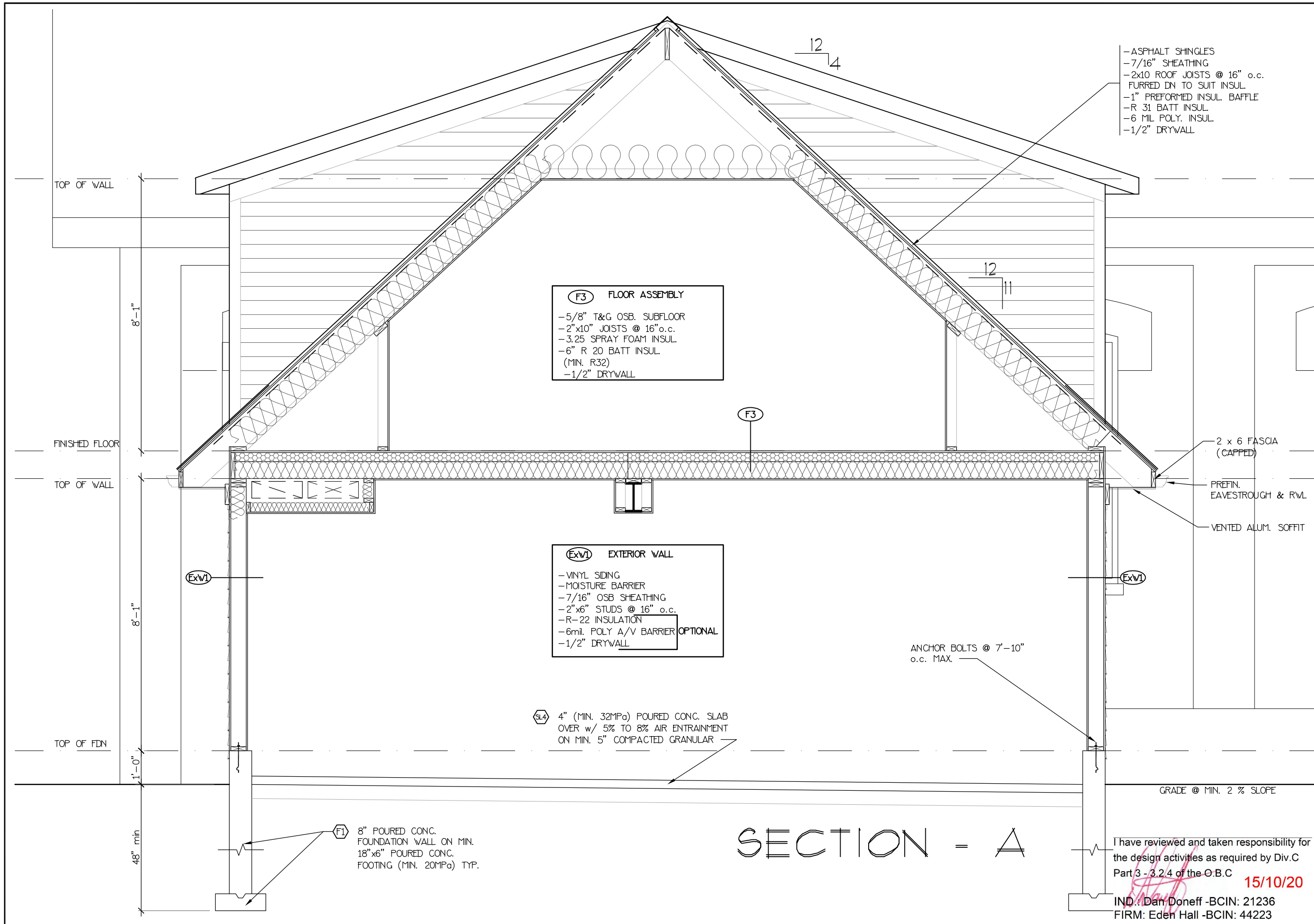
I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C  
 15/10/20  
 IND.: Dan Doneff -BCIN: 21236  
 FIRM: Eden Hall -BCIN: 44223

- RJ1 2x6 ROOF RAFTERS @ 16" o.c. w/ 2x8 RIDGE BOARD c/w 2x4 COLLAR TIES @ 3RD POINT DN FROM RIDGE & 2x6 CEILING JOIST @ 16" o.c.
  - RJ2 2x10 ROOF JOISTS @ 16" o.c. w/ 2x12 RIDGE BOARD c/w 2x4 COLLAR TIES / CEILING JOIST @ 81" A.F.F.
  - RJ3 2x6 ROOF RAFTERS @ 16" o.c. w/ 2x12 RIDGE BOARD c/w 2x4 CEILING JOIST
  - RJ4 2x10 ROOF JOISTS @ 16" o.c. w/ 2x12 RIDGE BOARD
  - AA 20"x28" ACCESS HATCH w/INSULATION AND WEATHERSTRIPPING-MIN(R-20)
  - V2 VENT DRYER TO EXTR w/ NON-COMBUSTIBLE DUCTWORK
  - GP2 -PROVIDE STUD REINF. FOR FUTURE GRAB BAR -2"x10"x32" Lg. BLOCKING w/ CENTER OF BLOCKING @ 33 1/2" to 36 1/2" ABOVE FIN. FLOOR & 6" ABOVE TANK - CENTERED -TO SUIT 24" LG. GRAB BAR
  - GP3 -PROVIDE STUD REINF. FOR FUTURE GRAB BAR -2"x10"x60" Lg. BLOCKING w/ CENTER OF BLOCKING @ 34" ABOVE FIN. FLOOR
- NOTE: PROVIDE R-12 INSULATION c/w VAPOUR BARRIER BEHIND / BELOW SUPPLY & RETURN HEATING DUCTS IN EXTERIOR WALLS, COMMON GARAGE WALLS & CEILING OF GARAGE w/ FINISHED AREAS EXPOSED TO AN UNHEATED SPACE
- NOTE: ALL EXHAUST DUCTS EXPOSED TO AN UNHEATED SPACE SHALL BE INSULATED w/ MIN. R-3 INSULATION c/w VAPOUR BARRIER
- NOTE: ALL ENG. LUMBER TO BE MIN. 2.0E WITH A 2950fb UNLESS NOTED OTHERWISE
- NOTE: ALL VD. UNTELS TO BE 2'-2"x10" UNLESS OTHERWISE NOTED.
- NOTE: ALL INTERIOR PARTITIONS TO BE 3 1/2" UNLESS NOTED
- NOTE: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES

designed by		Eden Hall architectural design drafting		www.edenhall.ca	
No.		DATE		ISSUED FOR PERMIT	
01	15/10/20	R E V I S I O N S		issued for permit	
DD	DD	BY	BY		

Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

Name:		Side Addition - garage & Bedrm's	
Lot/Location:		25235 Nairn Rd	
Drawn:	Designed:	Scale:	Date:
DD	-	3/16" = 1'-0"	Aug./20
Total Sq. Ft.	Drawing:		
-	SECOND FLOOR PLAN		
File Number	Sheet:		
20043	6 of 16		



- ASPHALT SHINGLES
- 7/16" SHEATHING
- 2x10 ROOF JOISTS @ 16" o.c. FURRED DN TO SUIT INSUL.
- 1" PREFORMED INSUL. BAFFLE
- R 31 BATT INSUL.
- 6 MIL POLY. INSUL.
- 1/2" DRYWALL

**(F3) FLOOR ASSEMBLY**

- 5/8" T&G OSB. SUBFLOOR
- 2"x10" JOISTS @ 16" o.c.
- 3.25 SPRAY FOAM INSUL.
- 6" R 20 BATT INSUL. (MIN. R32)
- 1/2" DRYWALL

**(ExV1) EXTERIOR WALL**

- VINYL SIDING
- MOISTURE BARRIER
- 7/16" OSB SHEATHING
- 2"x6" STUDS @ 16" o.c.
- R-22 INSULATION
- 6mil. POLY A/V BARRIER OPTIONAL
- 1/2" DRYWALL

**(SL4) 4" (MIN. 32MPa) POURED CONC. SLAB OVER w/ 5% TO 8% AIR ENTRAINMENT ON MIN. 5" COMPACTED GRANULAR**

**(F1) 8" POURED CONC. FOUNDATION WALL ON MIN. 18"x6" POURED CONC. FOOTING (MIN. 20MPa) TYP.**

# SECTION = A

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C. **15/10/20**

IND.: Dan Doneff -BCIN: 21236  
FIRM: Eden Hall -BCIN: 44223

<b>Eden Hall</b> architectural design · drafting www.edenhall.ca 72 Rogers Ave. London, Ont. N6H 1G7 519-439-6262	
Name: <b>Side Addition - garage &amp; Bedrm's</b> Lot/Location: <b>25235 Nairn Rd</b> Drawn: <b>DD</b>   Designed/Scale: <b>-</b>   Date: <b>Aug./20</b> Total Sq. Ft.: <b>-</b>   Drawing: <b>TYPICAL WALL SECTION</b>	No. <b>01</b>   DATE <b>15/10/20</b>   issued for permit R E V I S I O N S Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)
File Number <b>20043</b>   Sheet: <b>7 of 16</b>	



- ASPHALT SHINGLES
- 7/16" SHEATHING
- 2x6 ROOF RAFTERS @ 16" o.c.
- R 60 INSUL.
- 2x6 CEILING JOIST @ 16" o.c.
- 6 MIL POLY. INSUL.
- 1/2" DRYWALL

TYPE S OR M ROLLED ROOFING LAPPED AND CEMENTED 4" MIN. 3'-0" MIN. UP ROOF SLOPE BUT NOT LESS THAN 12" MIN. FROM INSIDE FACE OF WALL.

TOP OF WALL

FINISHED FLOOR

TOP OF WALL

TOP OF FDN

8'-1"

8'-1"

1'-0"

48" min

(ExVI)

(ExVI)

(F1)

8" POURED CONC. FOUNDATION WALL ON MIN. 18"x6" POURED CONC. FOOTING (MIN. 20MPa) TYP.

ANCHOR BOLTS @ 7'-10" o.c. MAX.

12'-0"

11"

-1/2" DRYWALL  
-2"x4" @ 16" o.c.  
-1/2" DRYWALL

**(F3) FLOOR ASSEMBLY**  
-5/8" T&G OSB. SUBFLOOR  
-2"x10" JOISTS @ 16" o.c.  
-3.25 SPRAY FOAM INSUL.  
-6" R 20 BATT INSUL. (MIN. R32)  
-1/2" DRYWALL

**(ExVI) EXTERIOR WALL**  
-VINYL SIDING  
-MOISTURE BARRIER  
-7/16" OSB SHEATHING  
-2"x6" STUDS @ 16" o.c.  
-R-22 INSULATION  
-6mil. POLY A/V BARRIER OPTIONAL  
-1/2" DRYWALL

**(SL4)** 4" (MIN. 32MPa) POURED CONC. SLAB OVER w/ 5% TO 8% AIR ENTRAINMENT ON MIN. 5" COMPACTED GRANULAR

CONT. ROOF VENT

12/4

2 x 6 FASCIA (CAPPED)

PREFIN. EAVESTROUGH & RVL

VENTED ALUM. SOFFIT

GRADE @ MIN. 2% SLOPE

SECTION - B

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C

15/10/20

IND.: Dan Doneff -BCIN: 21236  
FIRM: Eden Hall -BCIN: 44223

designed by  
**Eden Hall**  
architectural  
design - drafting  
www.edenhall.ca

72 Rogers Ave.  
London, Ont.  
N6H 1G7  
519-439-6262

Name: Side Addition - garage & Bedrm's  
Lot/Location: 25235 Nairn Rd

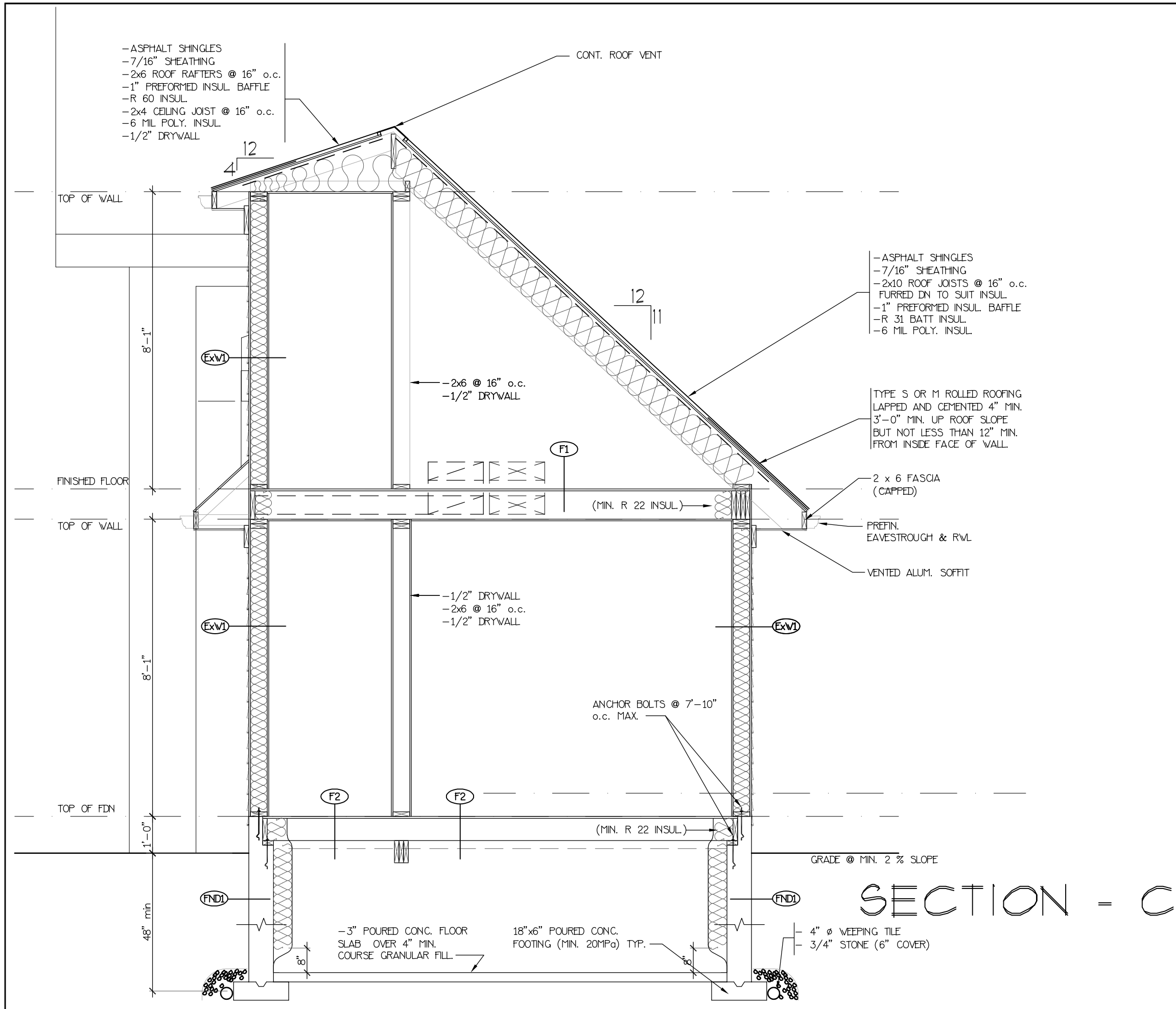
Drawn: DD  
Designed: DD  
Scale: -  
Date: Aug./20

Total Sq. Ft. -  
Drawing: TYPICAL WALL SECTION

File Number 20043  
Sheet: 8 of 16

REVISIONS  
No. DATE BY  
01 15/10/20 issued for permit DD

Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)



# SECTION - C

- ASPHALT SHINGLES
- 7/16" SHEATHING
- 2x6 ROOF RAFTERS @ 16" o.c.
- 1" PREFORMED INSUL. BAFFLE
- R 60 INSUL.
- 2x4 CEILING JOIST @ 16" o.c.
- 6 MIL POLY. INSUL.
- 1/2" DRYWALL

- ASPHALT SHINGLES
- 7/16" SHEATHING
- 2x10 ROOF JOISTS @ 16" o.c.
- FURRED DN TO SUIT INSUL.
- 1" PREFORMED INSUL. BAFFLE
- R 31 BATT INSUL.
- 6 MIL POLY. INSUL.

TYPE S OR M ROLLED ROOFING  
LAPPED AND CEMENTED 4" MIN.  
3'-0" MIN. UP ROOF SLOPE  
BUT NOT LESS THAN 12" MIN.  
FROM INSIDE FACE OF WALL.

- (ExVI) EXTERIOR WALL**
- VINYL SIDING
  - MOISTURE BARRIER
  - 7/16" OSB SHEATHING
  - 2"x6" STUDS @ 16" o.c.
  - R-22 INSULATION
  - 6mil. POLY A/V BARRIER
  - 1/2" DRYWALL

- (F1) FLOOR ASSEMBLY**
- 5/8" T&G OSB. SUBFLOOR
  - 2"x10" JOISTS @ 16" o.c.
  - 1/2" DRYWALL

- (F2) FLOOR ASSEMBLY**
- 5/8" T&G OSB. SUBFLOOR
  - 2"x8" JOISTS @ 16" o.c.

- (FNDI) FOUNDATION WALL**
- DRAINAGE LAYER
  - DAMPPROOFING
  - 8" POURED CONC. FDN. WALL (20MPa CONC.)
  - MOISTURE BARRIER @ FDN. WALL
  - R-20 INSUL. BLANKET TO MAX 8" ABOVE FIN. FLOOR SLAB w/ 6mil. POLY V.B.

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C. **15/10/20**

IND.: Dan Doneff - BCIN: 21236  
FIRM: Eden Hall - BCIN: 44223

Name: Side Addition - garage & Bedrm's		Lot/Location: 25235 Nairn Rd	
Drawn: DD	Designed: DD	Scale: -	Date: Aug./20
File Number: 20043		Sheet: 9 of 16	
Total Sq. Ft.:		Drawing: TYPICAL WALL SECTION	

No.	DATE	REVISIONS	BY
01	15/10/20	issued for permit	DD

Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

designed by **Eden Hall architectural** design - drafting  
www.edenhall.ca  
72 Rogers Ave. London, Ont. N6H 1G7 519-439-6262

- ASPHALT SHINGLES
- 7/16" SHEATHING
- 2x6 ROOF RAFTERS @ 16" o.c.
- 1" PREFORMED INSUL. BAFFLE
- R 60 INSUL.
- 2x4 CEILING JOIST @ 16" o.c.
- 6 MIL POLY. INSUL.
- 1/2" DRYWALL

- ASPHALT SHINGLES
- 7/16" SHEATHING
- 2x10 ROOF JOISTS @ 16" o.c. FURRED DN TO SUIT INSUL.
- 1" PREFORMED INSUL. BAFFLE
- R 31 BATT INSUL.
- 6 MIL POLY. INSUL.

- (ExV1) EXTERIOR WALL**
- VINYL SIDING
  - MOISTURE BARRIER
  - 7/16" OSB SHEATHING
  - 2"x6" STUDS @ 16" o.c.
  - R-22 INSULATION
  - 6mil. POLY A/V BARRIER
  - 1/2" DRYWALL

- (ExV2) EXTERIOR WALL**
- VINYL SIDING
  - MOISTURE BARRIER
  - 7/16" OSB SHEATHING
  - 2"x6" STUDS @ 16" o.c.
  - R-22 INSULATION
  - 6mil. POLY A/V BARRIER

- (ExV3) EXTERIOR WALL TALL WALL**
- VINYL SIDING
  - MOISTURE BARRIER
  - 7/16" OSB SHEATHING
  - 2"x6" STUDS @ 12" o.c.
  - R-22 INSULATION
  - 6mil. POLY A/V BARRIER

- (F1) FLOOR ASSEMBLY**
- 5/8" T&G OSB. SUBFLOOR
  - 2"x10" JOISTS @ 16" o.c.
  - 1/2" DRYWALL

- (F2) FLOOR ASSEMBLY**
- 5/8" T&G OSB. SUBFLOOR
  - 2"x8" JOISTS @ 16" o.c.

- (FND1) FOUNDATION WALL**
- DRAINAGE LAYER
  - DAMPPROOFING
  - 8" POURED CONC. FDN. WALL (20MPa CONC.)
  - MOISTURE BARRIER @ FDN. WALL
  - R-20 INSUL. BLANKET TO MAX 8" ABOVE FIN. FLOOR SLAB w/ 6mil. POLY V.B.

# SECTION - D

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C. **15/10/20**

IND.: Dan Doneff - BCIN: 21236  
FIRM: Eden Hall - BCIN: 44223

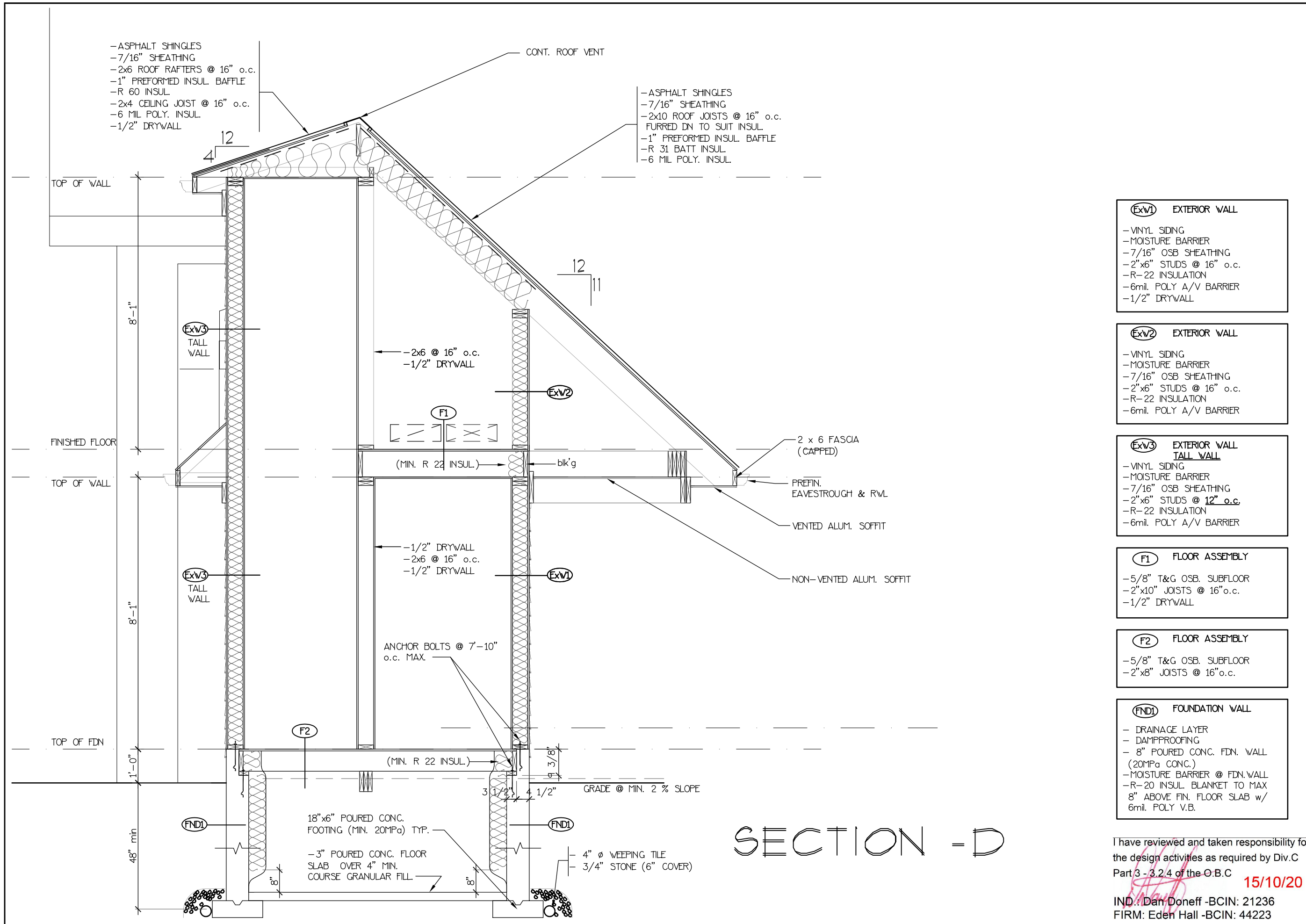
designed by  
**Eden Hall**  
architectural  
design - drafting  
www.edenhall.ca  
72 Rogers Ave.  
London, Ont.  
N6H 1K7  
519-439-6262

No.	DATE	REVISIONS	BY
01	15/10/20	issued for permit	DD

Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

Name: Side Addition - garage & Bedrm's	
Lot/Location: 25235 Nairn Rd	
Drawn: DD	Designed/Scale: -
Date: Aug/20	Drawing: TYPICAL WALL SECTION
Total Sq. Ft.:	-

File Number: 20043  
Sheet: 10 of 16



- ASPHALT SHINGLES
- 7/16" SHEATHING
- 2x6 ROOF RAFTERS @ 16" o.c.
- 1" PREFORMED INSUL. BAFFLE
- R 60 INSUL.
- 2x4 CEILING JOIST @ 16" o.c.
- 6 MIL POLY. INSUL.
- 1/2" DRYWALL

- ASPHALT SHINGLES
- 7/16" SHEATHING
- 2x10 ROOF JOISTS @ 16" o.c.
- FURRED DN TO SUIT INSUL.
- 1" PREFORMED INSUL. BAFFLE
- R 31 BATT INSUL.
- 6 MIL POLY. INSUL.

TYPE S OR M ROLLED ROOFING  
LAPPED AND CEMENTED 4" MIN.  
3'-0" MIN. UP ROOF SLOPE  
BUT NOT LESS THAN 12" MIN.  
FROM INSIDE FACE OF WALL

2 x 6 FASCIA  
(CAPPED)

PREFIN.  
EAVESTROUGH & RVL

VENTED ALUM. SOFFIT

- 2x6 @ 16" o.c.  
- 1/2" DRYWALL

(MIN. R 22 INSUL.)

ANCHOR BOLTS @ 7'-10"  
o.c. MAX.

(MIN. R 22 INSUL.)

GRADE @ MIN. 2% SLOPE

18"x6" POURED CONC.  
FOOTING (MIN. 20MPa) TYP.

- 3" POURED CONC. FLOOR  
SLAB OVER 4" MIN.  
COURSE GRANULAR FILL.

4" Ø WEEPING TILE  
3/4" STONE (6" COVER)

# SECTION - III

**(ExV1) EXTERIOR WALL**

- VINYL SIDING
- MOISTURE BARRIER
- 7/16" OSB SHEATHING
- 2"x6" STUDS @ 16" o.c.
- R-22 INSULATION
- 6mil. POLY A/V BARRIER
- 1/2" DRYWALL

**(ExV2) EXTERIOR WALL**

- VINYL SIDING
- MOISTURE BARRIER
- 7/16" OSB SHEATHING
- 2"x6" STUDS @ 16" o.c.
- R-22 INSULATION
- 6mil. POLY A/V BARRIER

**(F1) FLOOR ASSEMBLY**

- 5/8" T&G OSB. SUBFLOOR
- 2"x10" JOISTS @ 16" o.c.
- 1/2" DRYWALL

**(F2) FLOOR ASSEMBLY**

- 5/8" T&G OSB. SUBFLOOR
- 2"x8" JOISTS @ 16" o.c.

**(FND1) FOUNDATION WALL**

- DRAINAGE LAYER
- DAMPPROOFING
- 8" POURED CONC. FDN. WALL  
(20MPa CONC.)
- MOISTURE BARRIER @ FDN. WALL
- R-20 INSUL. BLANKET TO MAX  
8" ABOVE FIN. FLOOR SLAB w/  
6mil. POLY V.B.

I have reviewed and taken responsibility for  
the design activities as required by Div.C  
Part 3 - 3.2.4 of the O.B.C

15/10/20

IND.: Dan Doneff - BCIN: 21236  
FIRM: Eden Hall - BCIN: 44223

designed by  
**Eden Hall**  
architectural  
design - drafting  
www.edenhall.ca  
72 Rogers Ave.  
London, Ont.  
N6H 1G7  
519-439-6262

Name: Side Addition - garage & Bedrm's  
Lot/Location: 25235 Nairn Rd

Drawn: DD  
Designed/Scale: -  
Date: Aug./20

Total Sq. Ft. -  
Drawing: TYPICAL WALL SECTION

File Number 20043  
Sheet: 11 of 16

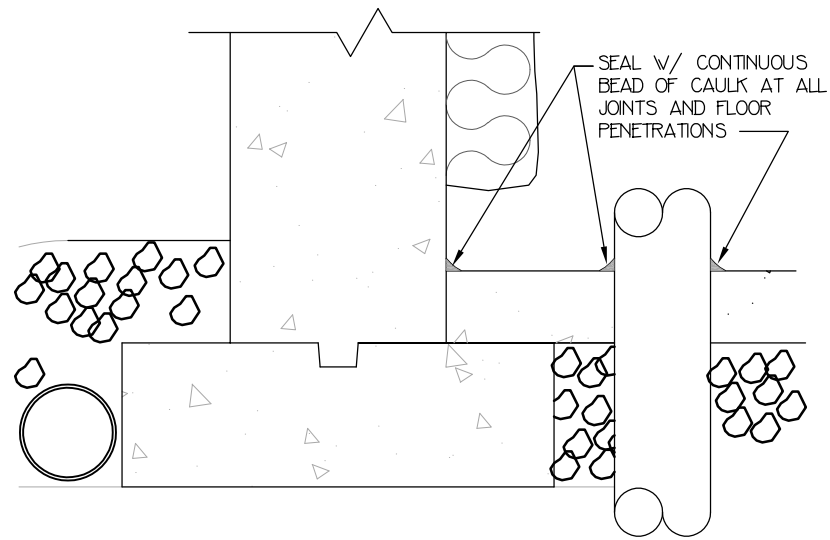
No.	DATE	REVISIONS	BY
01	15/10/20	issued for permit	DD

Do not scale drawings. Work to dimensions shown.  
The Contractor and all sub-trades must check their  
dimensions and details prior to start of their work.  
Report any errors and omissions to EDEN HALL  
prior to commencement of construction. These  
drawings area drawn in accordance with the Ontario  
Building Code (O.Reg. 332/12)

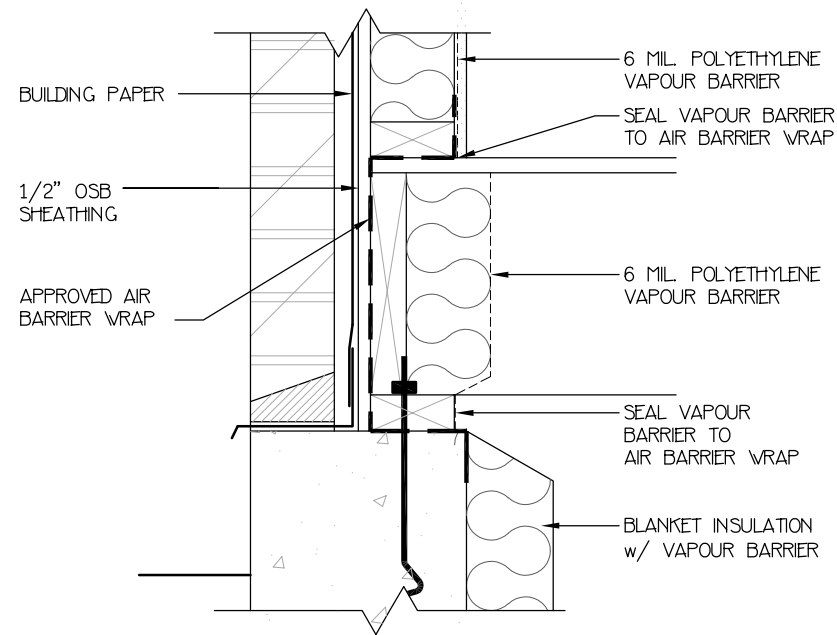




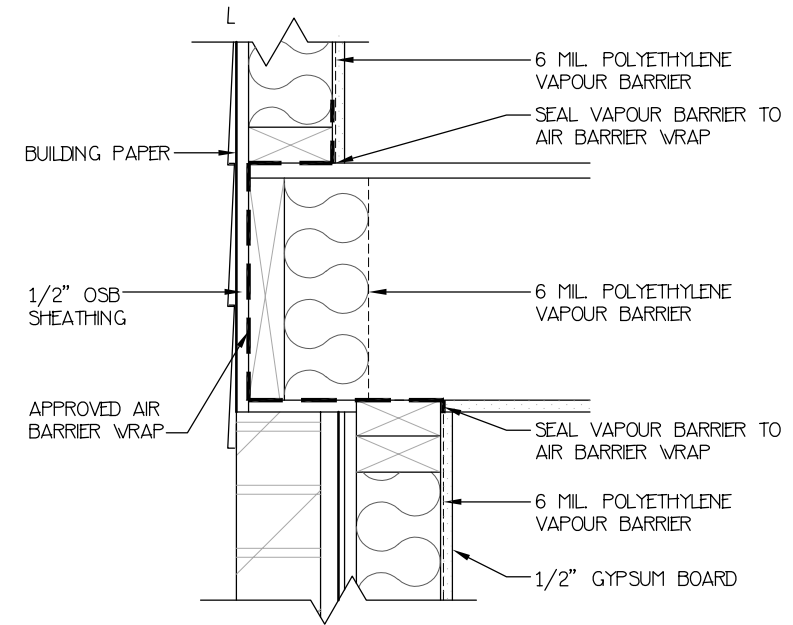




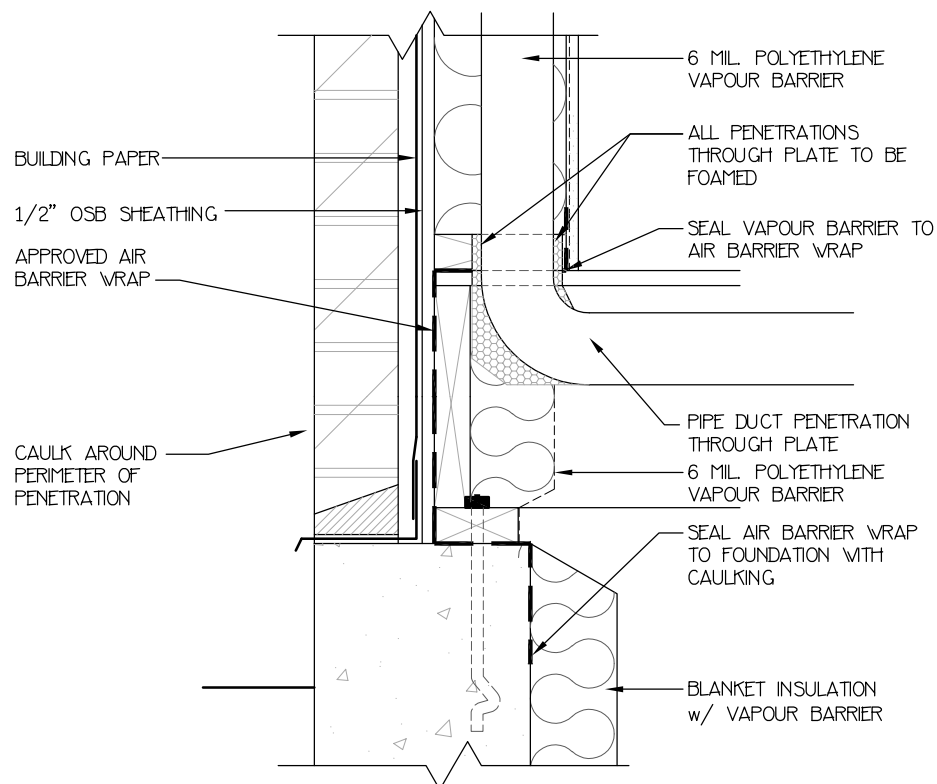
**AIR/VAPOUR BARRIER  
DETAIL AT BASEMENT FLOOR**



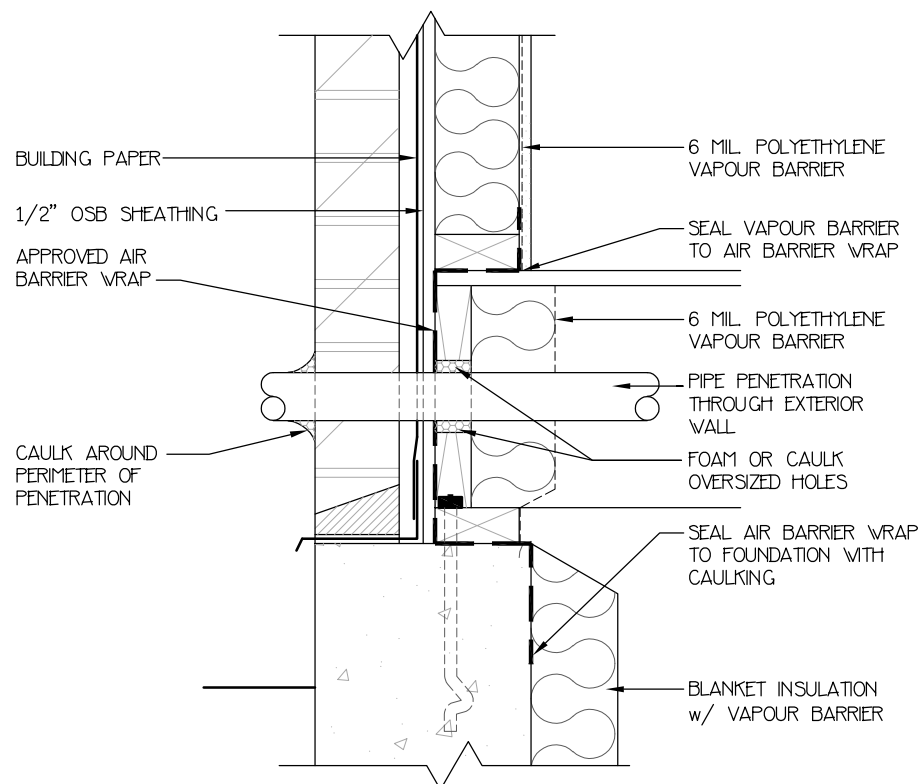
**AIR/VAPOUR BARRIER  
DETAIL AT FOUNDATION WALL**



**AIR/VAPOUR BARRIER  
DETAIL AT BRICK CANTILEVER**



**AIR/VAPOUR BARRIER  
DETAIL AT BELT/PLATE PENETRATION**



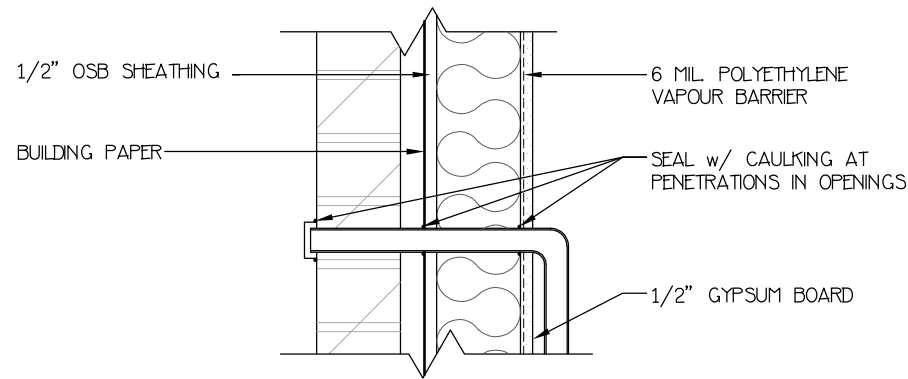
Name: Side Addition - garage & Bedrm's		File Number: 20043	Sheet: 13 of 16
Lot/Location: 25235 Nairn Rd		Drawn: DD	Scale: -
Designed: DD		Date: Aug/20	
Total Sq. Ft. -		Drawing: A/V BARRIER DETAILS	

No.	01	DATE	15/10/20	ISSUED FOR PERMIT
R E V I S I O N S				

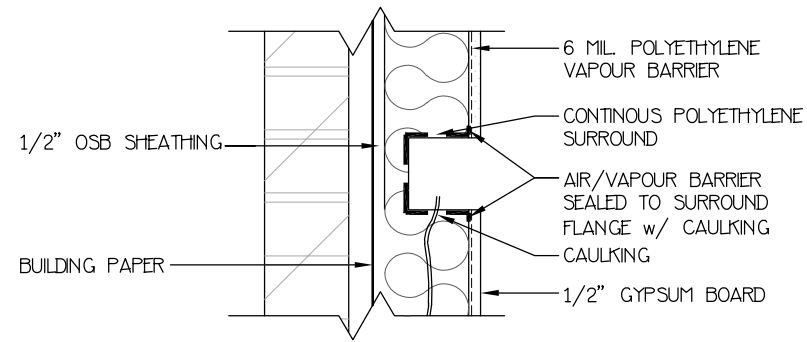
Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C  
 15/10/20  
 IND: Dan Doneff -BCIN: 21236  
 FIRM: Eden Hall -BCIN: 44223

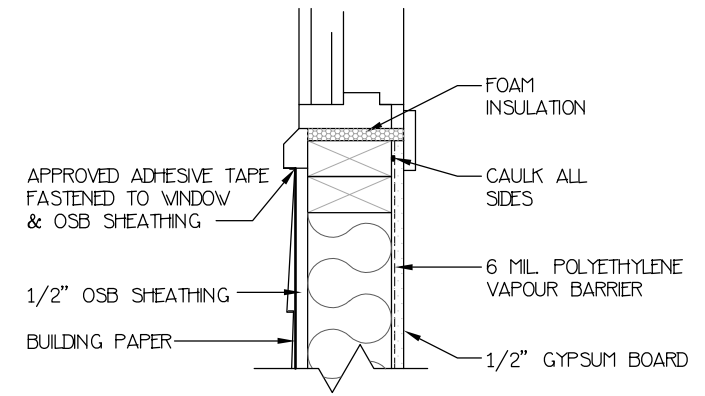
designed by  
**Eden Hall**  
 architectural  
 design - drafting  
 www.edenhall.ca  
 72 Rogers Ave.  
 London, On  
 N6H 1G7  
 519-439-6262



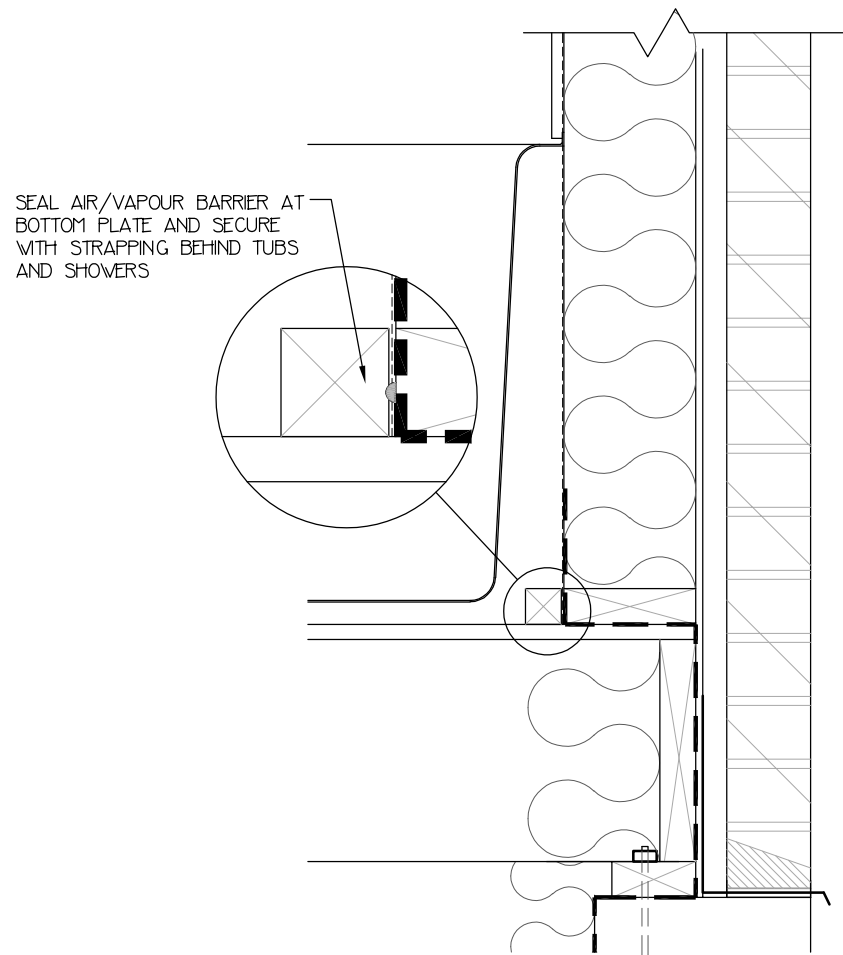
AIR/VAPOUR BARRIER DETAIL AT PENETRATIONS IN EXTERIOR WALLS



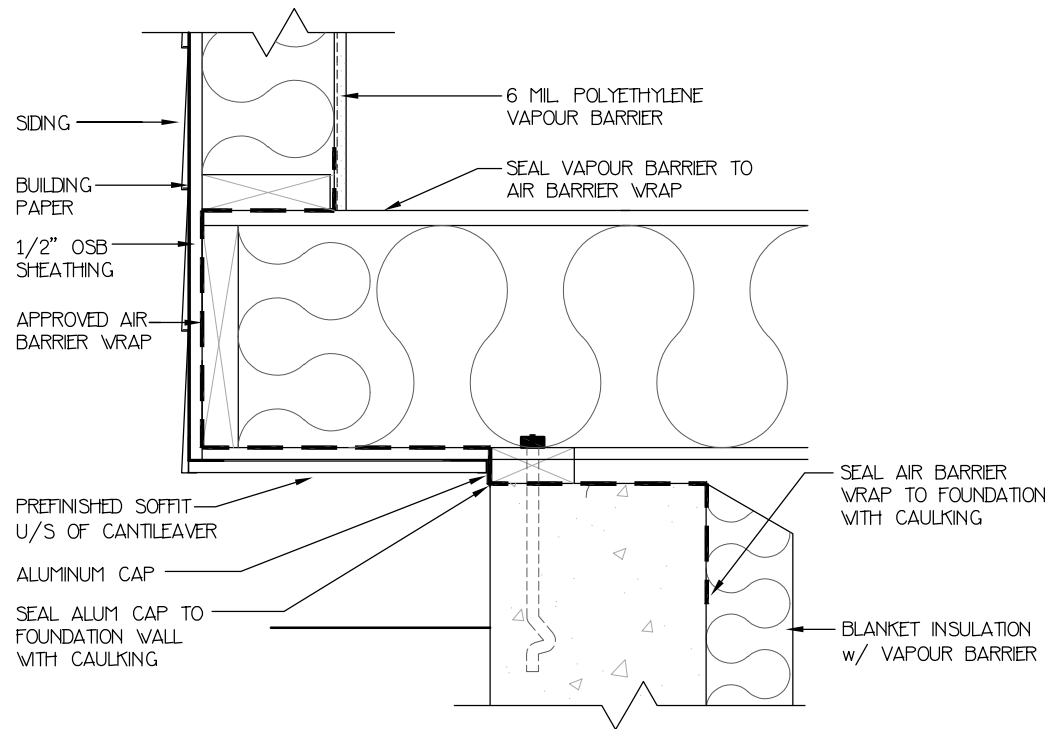
AIR/VAPOUR BARRIER DEAIL AT ELEC. BOXES IN EXTERIOR WALLS



AIR/VAPOUR BARRIER DETAIL AT WINDOW



AIR/VAPOUR BARRIER DETAIL AT TUB/SHOWER



AIR/VAPOUR BARRIER DETAIL AT CANTILEAVER

File Number 20043  
Sheet 14 of 16

Name: Side Addition - garage & Bedrm's  
Lot/Location: 25235 Nairn Rd

Drawn: DD  
Designed: DD  
Scale: -  
Date: Aug/20

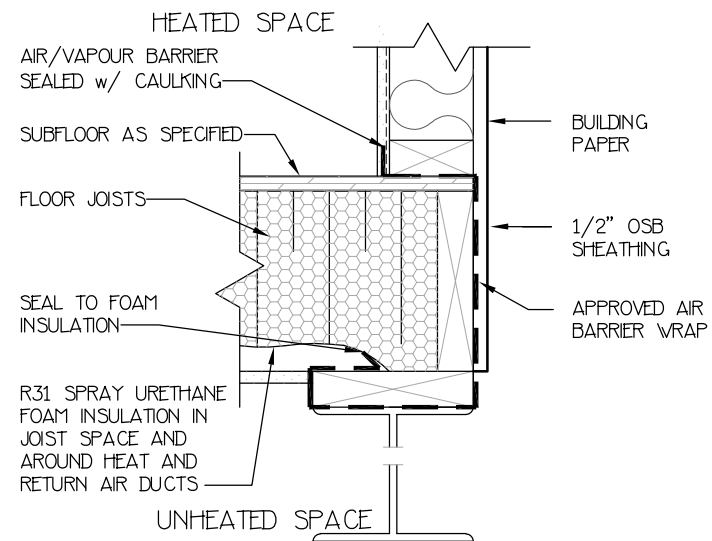
Total Sq. Ft. -  
Drawing: A/V BARRIER DETAILS

No.	DATE	REVISIONS	BY
01	15/10/20	issued for permit	DD

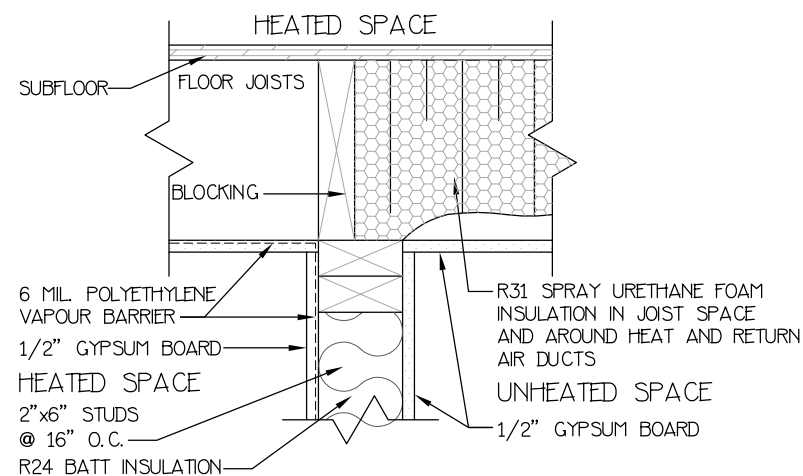
Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

designed by  
**Eden Hall**  
architectural  
design - drafting  
www.edenhall.ca  
72 Rogers Ave.  
London, On  
N6H 1G7  
519-439-6262

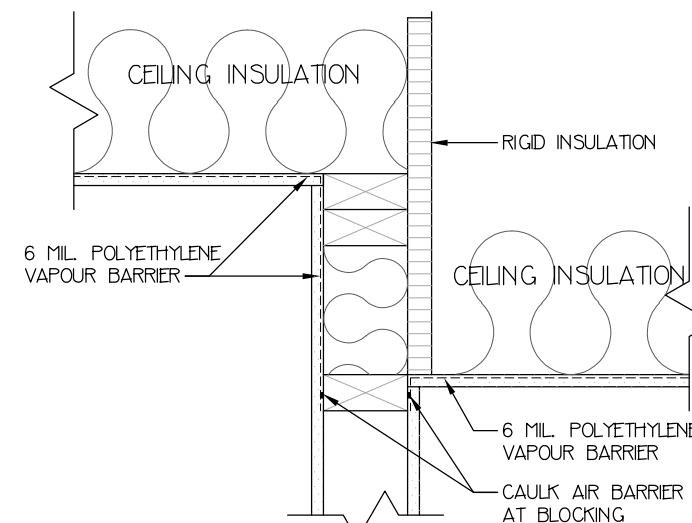
I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C  
15/10/20  
IND.: Dan Doneff -BCIN: 21236  
FIRM: Eden Hall -BCIN: 44223



**GARAGE BEAM AIR BARRIER DETAIL**

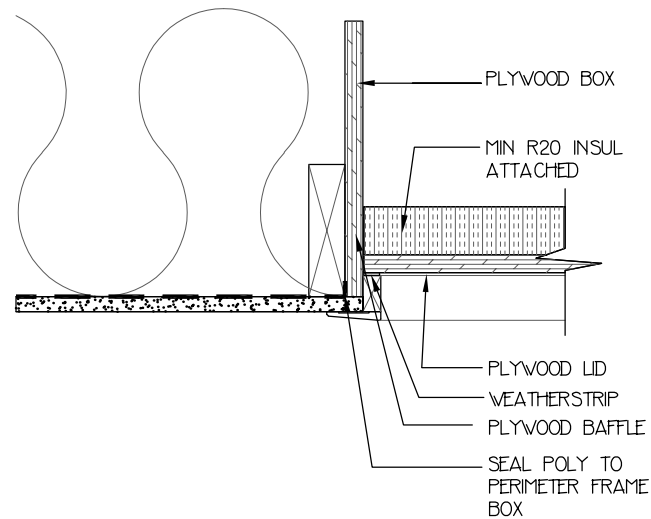


**AIR/VAPOUR BARRIER DETAIL AT INSULATED CEILING ABOVE UNHEATED SPACE (GARAGE)**



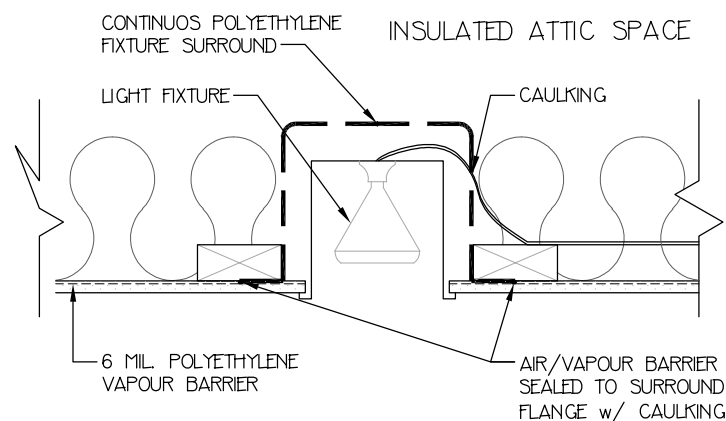
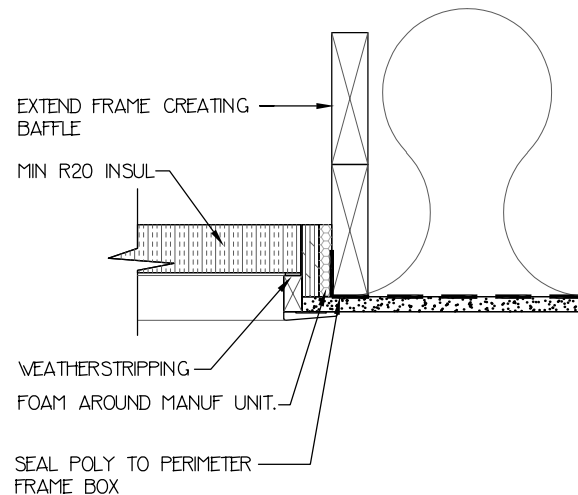
**AIR/VAPOUR BARRIER DETAIL AT CHANGE IN CEILING HEIGHT**

**SITE CONSTRUCTED UNIT**



**ATTIC ACCESS AIR BARRIER DETAIL**

**PRE-MANUFACTURED UNIT**



**AIR/VAPOUR BARRIER DETAIL AT CEILING ELEC. FIXTURE**

Name: Side Addition - garage & Bedrm's		File Number: 20043	
Lot/Location: 25235 Nairn Rd		Sheet: 15 of 16	
Drawn: DD	Designed/Scale: -	Date: Aug/20	
Total Sq. Ft.:	-	Drawing:	A/V BARRIER DETAILS

No.	DATE	REVISIONS	BY
01	15/10/20	issued for permit	DD

Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)

I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C  
 15/10/20  
 designed by: Dan Doneff -BCIN: 21236  
 FIRM: Eden Hall -BCIN: 44223

Eden Hall architectural design - drafting  
 www.edenhall.ca  
 72 Rogers Ave.  
 London, On. N6H 1G7  
 519-439-6262

## FOUNDATIONS:

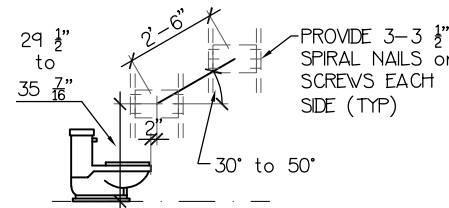
- PROVIDE MIN. 18"x6" FOOTINGS FOR ALL ONE STOREY WALLS.
- PROVIDE MIN. 18"x6" FOOTINGS FOR ALL TWO STOREY BRICK WALLS w/ 1 STOREY VENEER
- PROVIDE MIN. 18"x6" FOOTINGS FOR ALL TWO STOREY BRICK WALLS w/ 2 STOREY VENEER
- PROVIDE MIN. 23"x8" FOOTINGS FOR ALL THREE STOREY BRICK WALLS w/ 2 STOREY VENEER
- PROVIDE MIN. 26"x9" FOOTINGS FOR ALL THREE STOREY BRICK WALLS w/ 3 STOREY VENEER
- PROVIDE MIN. 8"x4" FOOTING FOR ALL INTERIOR WALLS SUPPORTING NOT MORE THAN ONE FLOOR
- PROVIDE MIN. 14"x6" FOOTING FOR ALL INTERIOR WALLS SUPPORTING TWO FLOORS.
- PROVIDE MIN. 20"x8" FOOTING FOR ALL INTERIOR WALLS SUPPORTING THREE FLOORS. (9.15.3.4)
- STEPPED FOOTINGS SHALL NOT EXCEED A VERTICAL RISE OF 23 5/8" & A MIN. HORIZONTAL RUN OF 24". (9.15.3.9) WITH A MAX. ANGLE OF REPOSE OF 45°
- UNDERSIDE OF ALL FOOTINGS TO BE A MINIMUM OF 48" BELOW GRADE BEARING ON UNDISTURBED SOIL UNLESS NOTED OTHERWISE. PROVIDE A MINIMUM OF 48" OF FROST PROTECTION TO ALL FOOTINGS.
- MAXIMUM BACKFILL HEIGHT IN WINDOW WELL AREAS WITH WINDOWS OVER 4'-0" WIDE TO BE:
  - 3'-11" - 8" CONC. FDN.
  - 4'-3" - 9" CONC. FDN.
  - 4'-7" - 10" CONC. FDN.
  - 4'-11" - 12" CONC. FDN. (9.15.4.3)
 OR BE REINFORCED TO WITHSTAND THE EARTH PRESSURE.
- PROVIDE MIN. 0.05mm POLY UNDER ALL WOOD IN CONTACT WITH CONC. OR TYPE 'S' 0.05 mm ROLLED ROOFING (9.23.2.3)
- PROVIDE 1/2" ANCHOR BOLTS @ 7'-10" o.c. (MAX.) IMBEDDED 4" (MIN.) INTO FOUNDATION WALLS FOR SILL PLATE ATTACHMENT. (9.23.6.1)
- SUPPORT OF NON-LOADBEARING PARTITIONS TO COMPLY WITH SUBSECTION (9.23.9.8)
- PROVIDE ELECTRICAL AND LIGHTING FACILITIES AS PER (9.34).

## ELEVATIONS:

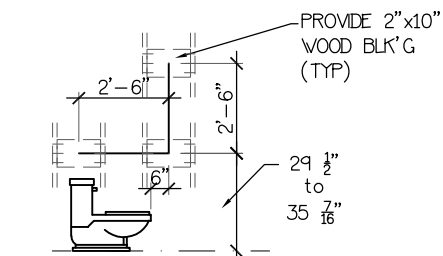
- DOORS & WINDOWS TO COMPLY TO FORCED ENTRY REQUIREMENTS. (9.6.8 & 9.7.6)
- CONC. STAIRS WITH MORE THAN 2 TREADS & 2 RISERS REQUIRES TO BE SUPPORTED ON A FOUNDATION WALL OR CANTILEVERED FROM THE MAIN FOUNDATION WALL. (9.8.9)
- CONC. STAIRS TO BE CANTILEVERED SHALL BE CONSTRUCTED & INSTALLED IN CONFORMANCE WITH SUBSECTION (9.8.10).
- ALL STEEL LINTELS SUPPORTING BRICK TO HAVE 6" MIN. END BEARING. (9.20.5.2)
- MASONRY VENEER THAT IS 3 1/2" THICK SHALL NOT PROJECT MORE THAN 1" FROM SUPPORTING BASE & 1/2" FROM SUPPORTING BASE WHERE THE MASONRY VENEER IS LESS THAN 3 1/2" THICK. (9.20.12.3)
- MASONRY FLASHING TO CONFORM TO SUBSECTION (9.20.13)
- PROVIDE WEEP HOLES IN BRICK AT 31" (MAX.) o.c. & IN ACCORDANCE TO (9.20.13.8)
- ROOF FLASHING TO CONFORM TO SUBSECTION (9.26.4)
- ALL EXTERIOR CLADDING TO CONFORM TO SUBSECTION (9.27).

## FLOOR PLANS:


- PROVIDE FOAM GASKET OR CAULKING UNDER ALL UPPER FLOOR WALL PLATES.
- ALL BEAMS & GIRDERS TO BE SUPPORTED FULL WIDTH TO FOUNDATION.
- DOORS & WINDOWS TO COMPLY TO FORCED ENTRY REQUIREMENTS. (9.6.8 & 9.7.6)
- PROVIDE SOLID BLOCKING ON BOTH SIDES AT THE LOCK HEIGHT BETWEEN THE JAMBS & FRAME FOR ALL EXTERIOR DOORS. (9.6.8.9)
- FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPENING WINDOW WITH AN UNOBSTRUCTED AREA OF 3.8 SQ.FT (MIN.) WITH NO DIMENSION LESS THAN 15", & 3'-3" (MAX.) FROM FLOOR LEVEL (9.7.1.3)
- STAIRS TO HAVE UNIFORM RISE / RUN (9.8.4.1. & 9.8.4.2.)
  - RISE = 4 7/8" MIN. & 7 7/8" MAX.
  - RUN = 8 1/4" MIN. & 14" MAX.
  - TREAD = 9 1/4" MIN. & 14" MAX.
  - NOSING = 1"
  - HEADROOM = 6'-5" MIN.
  - WIDTH = 2'-10" MIN.
  - HANDRAILS = 34" MIN. TO 38" MAX. (9.8.7.4)
- GUARDS ON INTERIOR LANDINGS & STAIRS:
  - MIN. 36" HEIGHT (9.8.8.3)
  - 4" MAX. OPENINGS
  - NON CLIMBABLE
- GUARDS ON EXTERIOR LANDINGS AND STAIRS:
  - TO BE 36" (MIN.) WERE THE WALK SURFACE WALKING SURFACE OF PORCHES, DECKS, LANDING & BALCONIES ARE LESS THAN 5'-11" )
  - TO BE 42" MIN. FOR ANYTHING EXCEEDING 5'-11" ABOVE FINISHED GRADE. (9.8.8.3)
  - STAIR GUARDS TO BE NOT LESS THAN 36"
- STAIRS TO BASEMENT TO BE ENCLOSED BY WALLS OR GUARDS. (9.8.8)
- PROVIDE 22"x24" ATTIC ACCESS IN GARAGE CEILING & UPPER FLOOR CEILING. (9.18.2)
- ALL ATTIC ACCESS PANELS TO BE INSULATED (Min R-20) c/w WEATHERSTRIPPING. (9.25.3.3.(7))
- PROVIDE insulation R-value as per Energy Efficiency Design package IN GARAGE CEILING WHERE LIVING AREA OCCURS ABOVE.
- ALL STUD WALLS BETWEEN GARAGE & LIVING AREAS TO BE 2"x6" STUDS AT 16" o.c. c/w insulation R-value Energy Efficiency Design package & 1/2" DRYWALL.
- PROVIDE INSULATION AS PER (9.25.2 & 12.2 & 12.3)
- ALL AIR BARRIERS TO BE CONTINUOUS & SEALED AS PER SECTION (9.25.3).
- ALL VAPOUR BARRIERS TO BE 6-MIL POLYETHYLENE (CAN/CGSB 51.34-M) & BE INSTALLED AS PER (9.25.4)
- WHERE CERAMIC FLOORING IS INSTALLED, SUBFLOOR TO BE REINFORCED. (9.30.6)
- PROVIDE ELECTRICAL & LIGHTING FACILITIES AS PER (9.34)



GRAB BAR REINF. OPTION A



GRAB BAR REINF. OPTION B

Name: Side Addition - garage & Bedrm's		File Number: 20043		Sheet: 16 of 16	
Lot/Location: 25235 Nairn Rd		Date: Aug./20		Drawing: GENERAL NOTES	
Drawn: DD	Designed: DD	Scale: -	Total Sq. Ft.:	-	
No. 0115/10/20		DATE		Do not scale drawings. Work to dimensions shown. The Contractor and all sub-trades must check their dimensions and details prior to start of their work. Report any errors and omissions to EDEN HALL prior to commencement of construction. These drawings are drawn in accordance with the Ontario Building Code (O.Reg. 332/12)	
No. 0115/10/20		DATE		DESIGNER: Dan Doneff - BCIN: 21236	
No. 0115/10/20		DATE		FIRM: Eden Hall - BCIN: 44223	
No. 0115/10/20		DATE		I have reviewed and taken responsibility for the design activities as required by Div.C Part 3 - 3.2.4 of the O.B.C. 15/10/20	
No. 0115/10/20		DATE		 designed by www.edenhall.ca 72 Rogers Ave. London, On. N6H 1G7 519-439-6262	